



Schenectady County
Purchasing Department

620 State St.-2nd Floor
Schenectady, NY 12305
purchasing@schenectadycountyny.gov
518.388.4240

ADDENDUM

RFB-2024-39
INTERIOR RENOVATIONS TO SCHENECTADY COUNTY DEPW
C2 DESIGN GROUP

ADDENDUM #3

Issued Date: 08/02/2024

The purpose of this addendum is to provide detailed information to all Bidders. This addendum is hereby included in and made part of the Contract Documents, whether or not attached thereto. Receipt of this Addendum must be acknowledged on the bid form.

CONTENTS/RESPONSE TO QUESTIONS/REFERENCE TO ATTACHMENTS

General:

1. This addendum changes the documents for Bid #RFB-2024-39.
2. 01 15 00 – Project Master Schedule
 - a. Revised Bid Due/Opening date to Thursday August 8th 2024 @ 2:00 pm.

Attachments: Revised/New Contract Drawings and Specifications

1. New Drawing G103 – Construction Phasing Plan & Notes
2. Drawing D101 – Enlarged Demolition plan – East
 - a. Key reference to replacement of lobby water cooler See plumbing drawings.
3. Drawing D102 – Enlarged Demolition Plan – West
 - a. Key reference for removal of cover at existing skylight
4. Drawing A102 – Enlarged Floor Plan – West
 - a. Reference for existing skylight
5. Drawing A800 – Reflected Ceiling plan
 - a. Key reference for finish of existing skylight

6. Drawing P001 – Plumbing General Notes, Schedules and Symbols List
 - a. Fixture add for Electric Water Cooler
7. Drawing P101 – First Floor Plan - Plumbing
 - a. Reference for EWC-A
8. Drawing PD101 – First Floor Demolition Plan - Plumbing
 - a. Reference demo. of existing water cooler
9. Drawing M101 – First Floor Plan (Overall) - HVAC
 - a. Reference drawing note for Duct Cleaning
10. Drawing MD101 – First Floor Demolition Plan (Overall) - HVAC
 - a. Reference Demolition note for replacement of Supply Diffuser and Return Grilles
11. Drawing E102 – Enlarged First Floor Plan (East) - Electrical
 - a. Reference drawing note for Water Cooler power.
12. Drawing E102 – Enlarged First Floor Plan (East) - Electrical
 - a. Reference drawing note for Water Cooler power.
13. Drawing ED102 – Enlarged Demolition Floor Plan (East) - Electrical
 - a. Reference drawing note for Water Cooler receptacle removal.
14. Specifications 22 40 00 – Revised Plumbing Fixtures and Trim
15. Specifications 23 31 01 – Mechanical Cleaning of HVAC Systems

General Bid RFI's

1. Is the overall project schedule flexible?
 - a. Response: Yes, see Addendum #1 – Revised Master schedule.
2. Specification Section 102000 has contradictions between material and bracket types. Is the intent to have HDPE partitions with privacy brackets and hardware?
 - a. Response: Provide the following specifications for all toilet compartments and urinal screens:
 - A. Materials

1. Panels and pilasters shall be 1" thick solid HDPE resin; water resistant; non-absorbent; self-lubricating surface; covered with protective masking. Color and material homogeneous throughout. Edges: Shiplap.
- B. Doors and Dividing Privacy Panels:
 1. High Privacy
 - a. Height: as shown on drawings.
 - b. Doors: shiplap edge opposite hinge side. Straight cut edge on hinge side.
 - c. Dividing Panels: Two panels stacked and secured with 3 dowels ensuring proper alignment totaling the system specified height.
- C. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 1. Scranton Products; (T) 800-445-5148, Email: info@scrantonproducts.com (Basis of Design).
 2. ASI Global Partitions, 900 Clary Connector, Eastanollee, GA 30538. Phone: (706) 827-2700.
 3. Bradley Corp., The Mills Company, Menomonee Falls, WI 53051

Please acknowledge this addendum on your bid form.

END OF ADDENDUM #3

KEY LEGEND

- PHASE 1
- PHASE 2
- PHASE 2A
- PHASE 3

GENERAL NOTES:

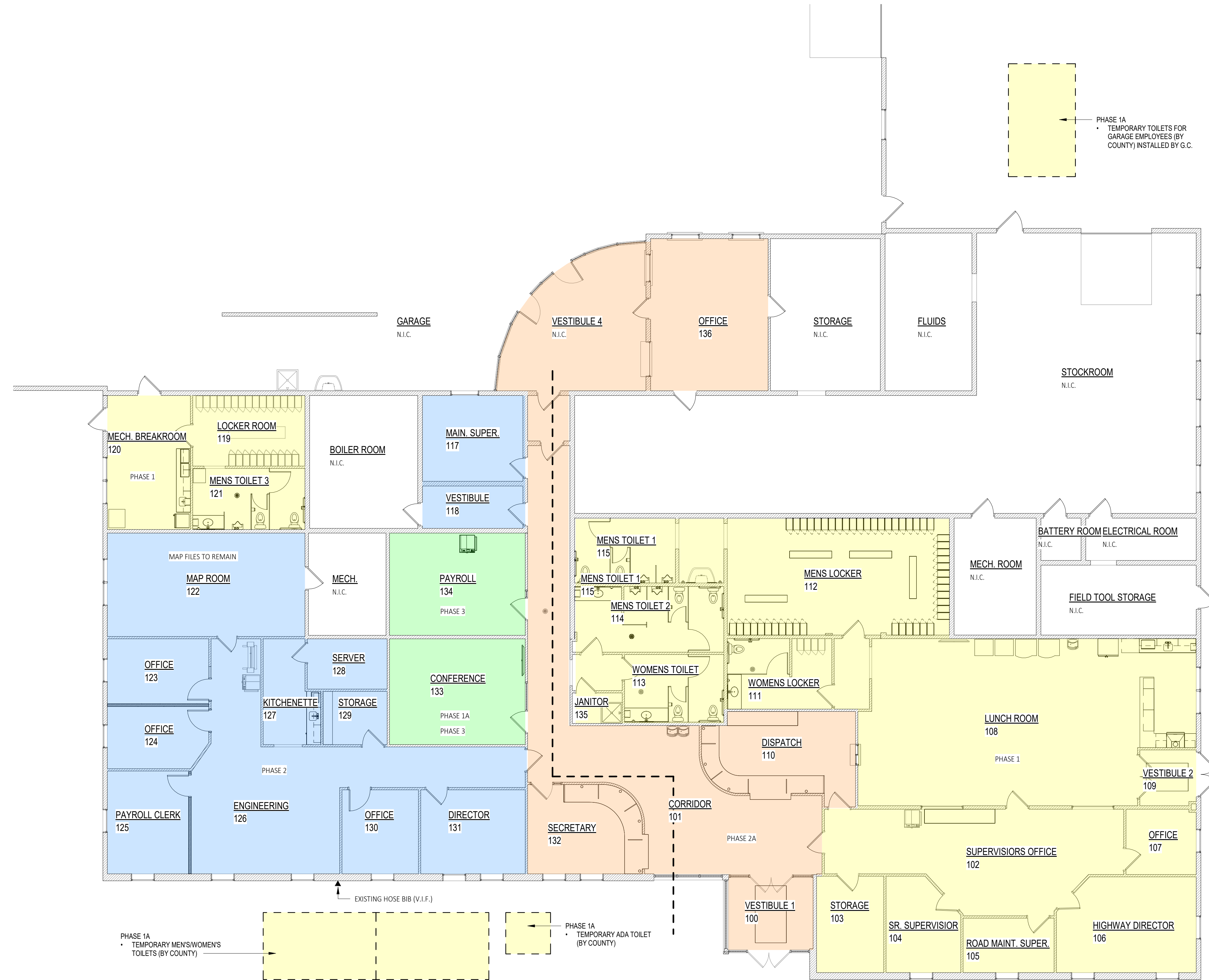
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE AREA OF WORK ON A DAILY BASIS. NO TOOLS, MATERIALS, AND/OR CONSTRUCTION DEBRIS TO REMAIN OVERNIGHT IN EXIT CORRIDORS OR AT EXIT DOORS. (SEE PHASE 2A)
2. CONTRACTOR TO LIMIT NOISE DURING DAY HOURS. G.C. SHALL PROVIDE WORK PLAN TO THE COUNTY FOR REVIEW PRIOR TO COMMENCEMENT OF WORK FOR EACH PHASE. THE PLAN SHOULD INCLUDE: ACCESS TO EACH PHASE, FURNITURE MOVING, OTHER WORK CROSSING ACTIVITIES ANTICIPATED IN OR AT BUILDING CORRIDORS AND EXITS.
3. ALL BUILDING EXITS: MUST BE CLEAR AND FULLY ACCESSIBLE DURING BUILDING EMPLOYEE WORKING HOURS (7:00 AM - 3:00 PM.)

CONSTRUCTION PHASING (GC RESPONSIBLE FOR MEP COORDINATION)

- PHASE 1A - INSTALL (6) DATA AND POWER EXTENSIONS (BY COUNTY.)
- TEMPORARY MEN'S AND WOMEN'S TOILETS (BY COUNTY); SET-UP WATER/POWER CONNECTION BY G.C.
- PHASE 1 - TOILET ROOMS, LOCKER ROOMS, MECHANICAL, BREAK ROOM, LUNCH ROOM WITH KITCHEN, AND SUPERVISORS OFFICES AS DESIGNATED (EAST.)
- PHASE 2A - WORK SHALL BE COMPLETED AFTER NORMAL BUILDING EMPLOYEE HOURS (7:00 AM - 3:00 PM.)
- AREA CLEAN UP REQUIRED EACH WEEKDAY PRIOR TO 7:00 AM.
- PHASE 2 - KITCHENETTE 127, MAP ROOM 122, ENGINEERING 126, AND OFFICE (WEST) AS DESIGNATED. (NOTE: MAP ROOM, MAP FILE REQUIREMENTS.)
- PHASE 3 - PAYROLL 134 AND CONFERENCE 133.

CONSTRUCTION PHASING GENERAL NOTES:

1. G.C. IS RESPONSIBLE FOR THE MOVING, STORAGE, AND CLEANING OF ALL FURNITURE INCLUDING BUT NOT LIMITED TO DESKS, CHAIRS, TABLES, FILES, COPIERS, FAX, LAMPS, BOXED BOOKS AND PAPER FILES. THE OWNER WILL PROVIDE ADJACENT BUILDING STORAGE AS REQUIRED FOR TEMPORARY STORAGE. IT IS THE G.C.'S OPTION TO USE THIS STORAGE FACILITY OR STORE IN THE BUILDING, LOCATED IN THE DESIGNATED AREA FOR THE SAME PHASE OF WORK. THE G.C. IS RESPONSIBLE FOR THE PROTECTION OF ALL STORED MATERIAL DURING THAT PHASE OF WORK UNTIL COMPLETION AND SIGN OFF BY THE ARCHITECT.
2. MAP ROOM - EXISTING MAP FILE UNITS SHALL REMAIN IN THE MAP ROOM DURING THE PROJECT'S WORK. IT IS THE G.C.'S RESPONSIBILITY TO TEMPORARILY MOVE AND PROTECT FILES AS REQUIRED TO COMPLETE ROOM'S SCOPE OF WORK.



Owner:
Schenectady County
612 State Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
322 State Street
Schenectady, NY 12305

Stamp:

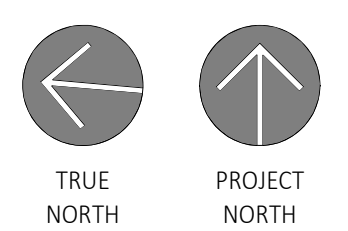
Project:
INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**
100 Kellar Avenue Schenectady, NY 12306

BID SET RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |

Drawn By: C2 Architecture
Scale: As Noted
Date: 05/31/2024
Job No: 2407
Sheet Title:
**CONSTRUCTION PHASING
PLAN & NOTES**
Sheet Number:
G103

1
G103 Construction Phasing Plan
SCALE: 1/8" = 1'-0"



Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.

Owner:
Schenectady County
612 State Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
322 State Street
Schenectady, NY 12305

Stamp:

Project:

INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**

100 Kellar Avenue Schenectady, NY 12306

BID SET RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

Drawn By: C2 Architecture

Scale: As Noted

Date: 05/31/2024

Job No: 2407

Sheet Title:

**ENLARGED DEMOLITION
PLAN - EAST**

Sheet Number:

D101

PLOT DATE: 7/31/2024 5:20:46 PM

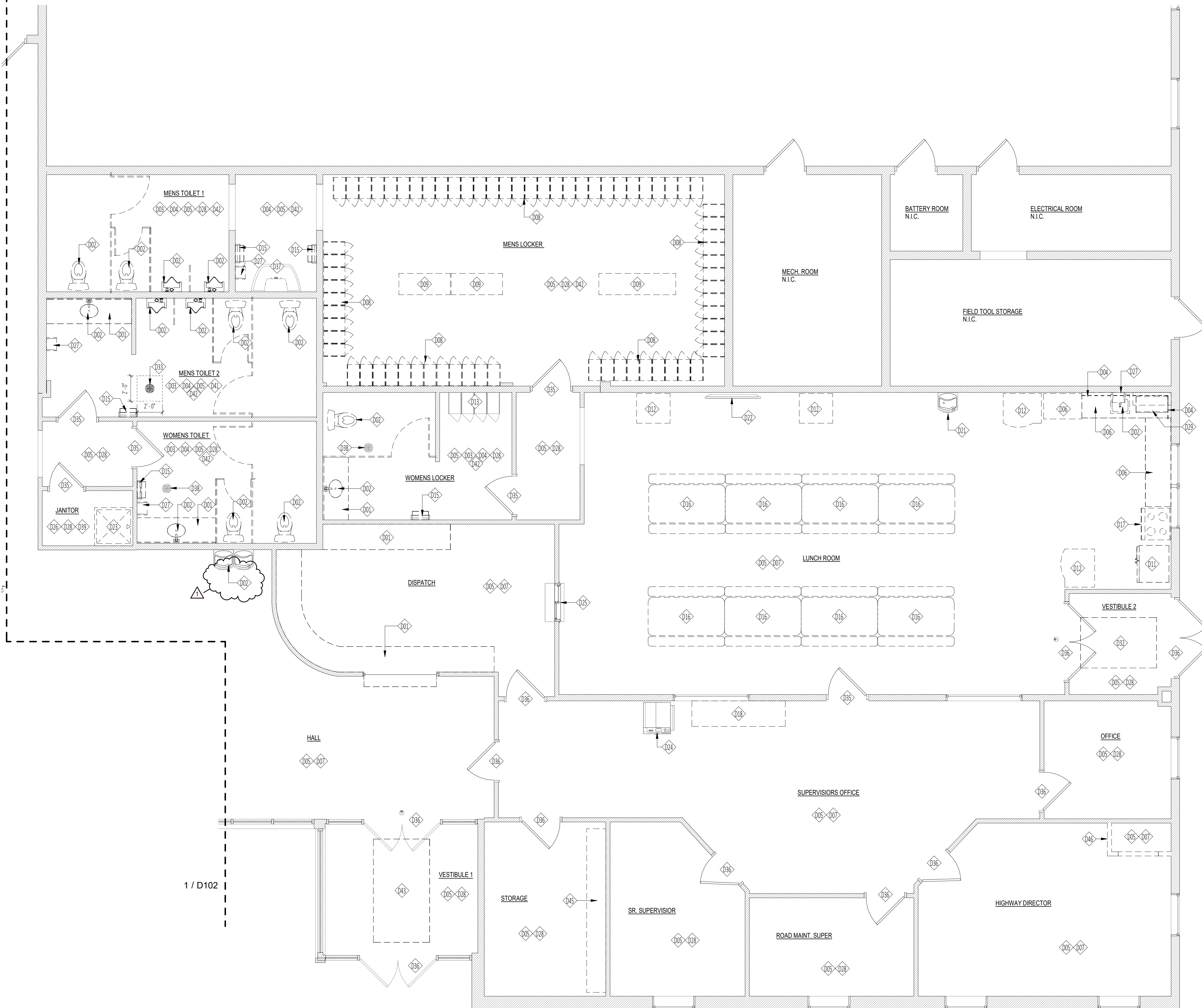
Demolition Plan Keynote Legend

| | | | |
|-----|--|-----|---|
| D01 | REMOVE EXISTING WALL MOUNTED COUNTER. PREP AND PATCH WALL FOR NEW WORK | D24 | EXISTING PLOTTER/PRINTER TO BE RELOCATED. G.C. TO PROTECT DURING CONSTRUCTION |
| D02 | EXISTING PLUMBING FIXTURE. REFERENCE PLUMBING DRAWINGS FOR SCOPE OF WORK | D25 | EXISTING STAINLESS STEEL COUNTER TO REMAIN |
| D03 | REMOVE ALL EXISTING TOILET ACCESSORIES IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, TRASH DISPENSER, TOILET PARTITIONS, GRAB BARS, MIRRORS, TOILET PAPER DISPENSERS, AND SOAP DISPENSERS. COORDINATE WITH THE WORK | D26 | EXISTING FLOORING TO REMAIN |
| D04 | REMOVE EXISTING WALL TILE IN ITS ENTIRETY INCLUDING SUBSTRATE BACK TO EXISTING FRAMING, COORDINATE WITH THE WORK | D27 | REMOVE AND SALVAGE EXISTING PAPER TOWEL DISPENSER FOR RE-USE |
| D05 | REMOVE EXISTING WALL BASE AND EXISTING FLOOR FINISH DOWN TO EXISTING SUBFLOOR, PREP TO RECEIVE SCHEDULED FINISH | D28 | EXISTING CEILING TO REMAIN |
| D06 | REMOVE EXISTING CASEWORK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO BASE CABINETS, COUNTER TOPS, AND WALL CABINETS | D29 | REMOVE AND SALVAGE EXISTING MICROWAVE FOR RE-USE |
| D07 | REMOVE EXISTING CEILING TILES, CEILING GRID AND FIXTURES TO REMAIN | D30 | REMOVE AND SALVAGE EXISTING MINI-FRIDGE FOR RE-USE |
| D08 | REMOVE EXISTING LOCKER SYSTEM IN ITS ENTIRETY | D31 | REMOVE AND SALVAGE EXISTING MECHANICS UNIFORM STORAGE CABINET FOR RE-USE |
| D09 | REMOVE EXISTING FLOOR MOUNTED BENCH | D32 | REMOVE EXISTING ENTRANCE FLOORING. MAINTAIN EXISTING RECESSED WALK OFF OPENING, COORDINATE WITH THE WORK |
| D10 | REMOVE EXISTING WOODEN CHAIR RAIL AS SHOWN IN THE DASHED LINES | D33 | CUT AND CAREFULLY REMOVE CONCRETE SLAB AT FLOOR DRAIN COORDINATE WITH PLUMBING |
| D11 | REMOVE AND SALVAGE EXISTING REFRIGERATOR FOR RE-USE | D34 | EXISTING SILL TO REMAIN. CLEAN AND COORDINATE WITH THE WORK |
| D12 | REMOVE AND SALVAGE EXISTING VENDING MACHINE FOR RE-USE | D35 | EXISTING DOOR TO REMAIN, PREP TO BE PAINTED. MAINTAIN ANY SIGNAGE PLACED ON DOOR AS REQUIRED |
| D13 | REMOVE AND SALVAGE EXISTING LOCKERS FOR RE-USE | D36 | EXISTING DOOR TO REMAIN |
| D14 | REMOVE AND SALVAGE EXISTING LOCKER BENCH FOR RE-USE | D37 | EXISTING SINK TO REMAIN, PROTECT DURING CONSTRUCTION. EXISTING FAUCETS, SEE PLUMBING DRAWINGS |
| D15 | REMOVE EXISTING PAPER TOWEL/TRASH DISPENSER, COORDINATE WITH THE WORK | D38 | EXISTING DRAIN TO REMAIN, COORDINATE WITH THE WORK |
| D16 | REMOVE AND SALVAGE EXISTING PLASTIC BENCHES FOR RE-USE | D39 | EXISTING WALL TILE TO REMAIN |
| D17 | CLEAN, SALVAGE AND RELOCATE EXISTING STOVE, COORDINATE WITH ELECTRICAL | D40 | REMOVE PORTION OF EXISTING WALL FOR SCHEDULED OPENING, COORDINATE WITH THE WORK |
| D18 | REMOVE EXISTING FREESTANDING COUNTER | D41 | REMOVE EXISTING GWB CEILING, COORDINATE WITH THE WORK. EXISTING FRAMING TO REMAIN |
| D19 | REMOVE EXISTING STORAGE SHELVING | D42 | REMOVE EXISTING LIGHTING FIXTURES. COORDINATE WITH THE WORK, SEE ELECTRICAL DRAWINGS |
| D20 | REMOVE EXISTING WORKSTATION PARTITIONS, COORDINATE WITH OWNER ON POTENTIAL REUSE | D43 | REMOVE EXISTING ENTRANCE FLOORING. INFILL EXISTING RECESSED WALK OFF OPENING, COORDINATE WITH THE WORK |
| D21 | EXISTING DRINKING FOUNTAIN TO REMAIN | D44 | REMOVE EXISTING DOOR AND HARDWARE IN ITS ENTIRETY. CLEAN AND STORE FOR RE-USE |
| D22 | EXISTING TV TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION | D45 | EXISTING SHELVING TO REMAIN |
| D23 | REMOVE EXISTING MOP SINK, SEE PLUMBING DRAWINGS | D46 | REMOVE EXISTING WALL IN ITS ENTIRETY AS INDICATED BY DASHED LINES. ALL COMPONENTS WITHIN THE WALLS SHALL BE MOVED AS TO COORDINATE WITH THE OVERALL SCOPE OF WORK |
| | | D47 | REMOVE EXISTING SKYLIGHT COVER. COORDINATE WITH THE WORK |

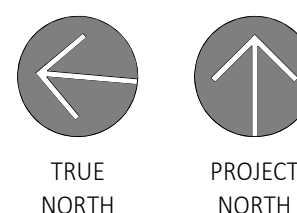
General Demolition Notes:

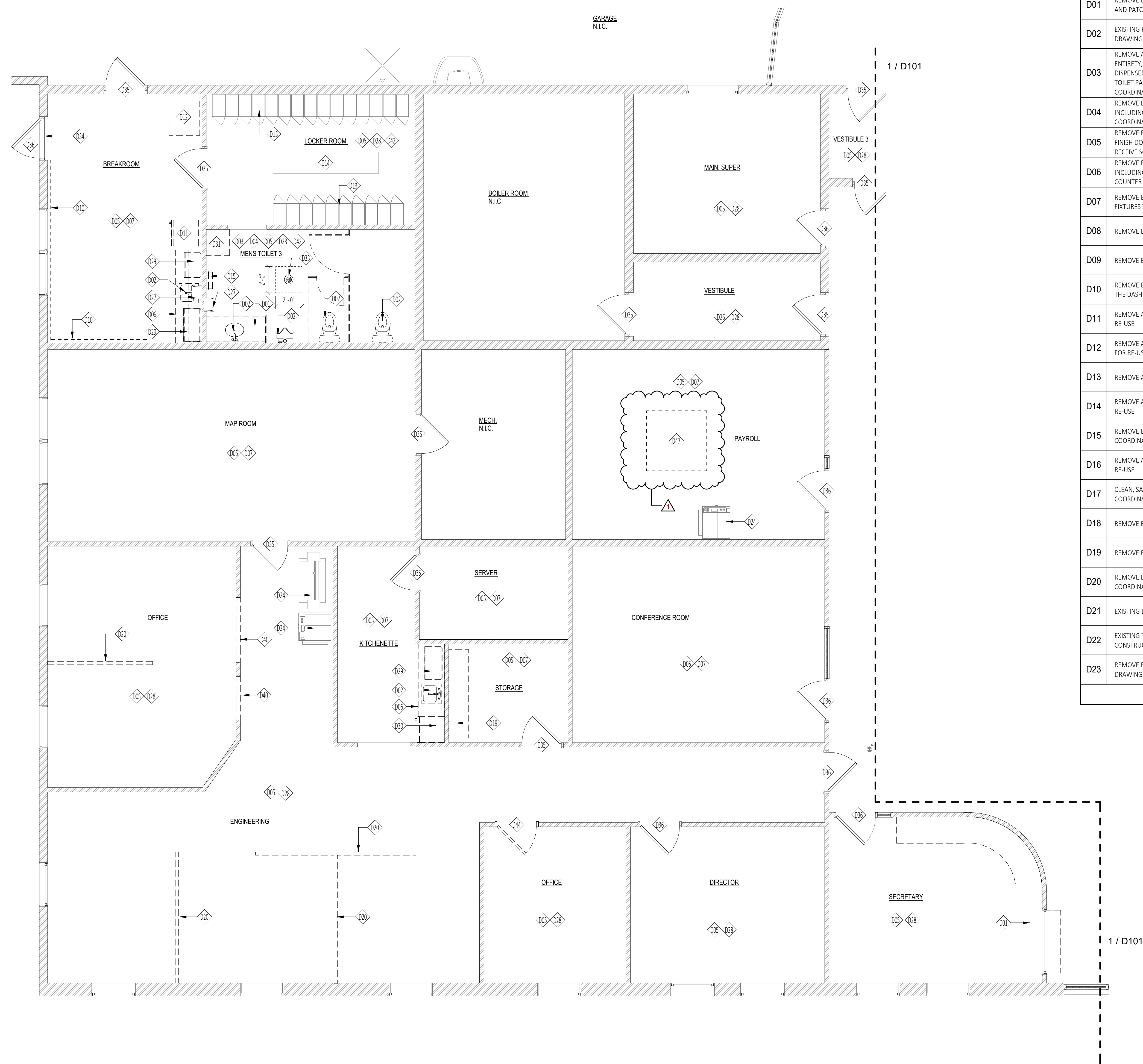
- REFERENCE F101 FOR GENERAL DEMOLITION NOTES
- PREP SUB-FLOOR TO RECEIVE SCHEDULED FINISH, SURFACE TO BE FREE OF ALL DIRT/GREASE AND DEBRIS
- REMOVE AND SALVAGE ALL EXISTING INSECT LAMP FOR REUSE. COORDINATE WITH OWNER ON NEW LOCATION.

1 / D102



1 / D102





| Demolition Plan Keynote Legend | |
|--------------------------------|--|
| D01 | REMOVE EXISTING WALL MOUNTED COUNTER, PREP AND PATCH WALL FOR NEW WORK |
| D02 | EXISTING PLUMBING FIXTURE, REFERENCE PLUMBING DRAWINGS FOR SCOPE OF WORK |
| D03 | REMOVE ALL EXISTING TOILET ACCESSORIES IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, TRASH DISPENSER, TOILET PARTITIONS, GRAB BARS, MIRRORS, TOILET PAPER DISPENSERS, AND SOAP DISPENSERS. COORDINATE WITH THE WORK |
| D04 | REMOVE EXISTING WALL TILE IN ITS ENTIRETY INCLUDING SUBSTRATE BACK TO EXISTING FRAMING, COORDINATE WITH THE WORK |
| D05 | REMOVE EXISTING WALL BASE AND EXISTING FLOOR FINISH DOWN TO EXISTING SUBFLOOR, PREP TO RECEIVE SCHEDULED FINISH |
| D06 | REMOVE EXISTING CASEWORK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO BASE CABINETS, COUNTER TOPS, AND WALL CABINETS |
| D07 | REMOVE EXISTING CEILING TILES, CEILING GRID AND FIXTURES TO REMAIN |
| D08 | REMOVE EXISTING LOCKER SYSTEM IN ITS ENTIRETY |
| D09 | REMOVE EXISTING FLOOR MOUNTED BENCH |
| D10 | REMOVE EXISTING WOODDED CHAIR RAIL AS SHOWN IN THE DASHED LINES |
| D11 | REMOVE AND SALVAGE EXISTING REFRIGERATOR FOR RE-USE |
| D12 | REMOVE AND SALVAGE EXISTING VENDING MACHINE FOR RE-USE |
| D13 | REMOVE AND SALVAGE EXISTING LOCKERS FOR RE-USE |
| D14 | REMOVE AND SALVAGE EXISTING LOCKER BENCH FOR RE-USE |
| D15 | REMOVE EXISTING PAPER TOWEL/TRASH DISPENSER, COORDINATE WITH THE WORK |
| D16 | REMOVE AND SALVAGE EXISTING PLASTIC BENCHES FOR RE-USE |
| D17 | CLEAN, SALVAGE AND RELOCATE EXISTING STOVE, COORDINATE WITH ELECTRICAL |
| D18 | REMOVE EXISTING FREESTANDING COUNTER |
| D19 | REMOVE EXISTING STORAGE SHELVING |
| D20 | REMOVE EXISTING WORKSTATION PARTITIONS, COORDINATE WITH OWNER ON POTENTIAL REUSE |
| D21 | EXISTING DRINKING FOUNTAIN TO REMAIN |
| D22 | EXISTING TV TO REMAIN, G.C. TO PROTECT DURING CONSTRUCTION |
| D23 | REMOVE EXISTING MOP SINK, SEE PLUMBING DRAWINGS |
| D24 | EXISTING PLOTTER/PRINTER TO BE RELOCATED, G.C. TO PROTECT DURING CONSTRUCTION |
| D25 | EXISTING STAINLESS STEEL COUNTER TO REMAIN |
| D26 | EXISTING FLOORING TO REMAIN |
| D27 | REMOVE AND SALVAGE EXISTING PAPER TOWEL DISPENSER FOR RE-USE |
| D28 | EXISTING CEILING TO REMAIN |
| D29 | REMOVE AND SALVAGE EXISTING MICROWAVE FOR RE-USE |
| D30 | REMOVE AND SALVAGE EXISTING MINI-FRIDGE FOR RE-USE |
| D31 | REMOVE AND SALVAGE EXISTING MECHANICS UNIFORM STORAGE CABINET FOR RE-USE |
| D32 | REMOVE EXISTING ENTRANCE FLOORING, MAINTAIN EXISTING RECESSED WALK OFF OPENING, COORDINATE WITH THE WORK |
| D33 | CUT AND CAREFULLY REMOVE CONCRETE SLAB AT FLOOR DRAIN COORDINATE WITH PLUMBING |
| D34 | EXISTING SILL TO REMAIN. CLEAN AND COORDINATE WITH THE WORK |
| D35 | EXISTING DOOR TO REMAIN, PREP TO BE PAINTED, MAINTAIN ANY SIGNAGE PLACED ON DOOR AS REQUIRED |
| D36 | EXISTING DOOR TO REMAIN |
| D37 | EXISTING SINK TO REMAIN, PROTECT DURING CONSTRUCTION, EXISTING FAUCETS, SEE PLUMBING DRAWINGS |
| D38 | EXISTING DRAIN TO REMAIN, COORDINATE WITH THE WORK |
| D39 | EXISTING WALL TILE TO REMAIN |
| D40 | REMOVE PORTION OF EXISTING WALL FOR SCHEDULED OPENING, COORDINATE WITH THE WORK |
| D41 | REMOVE EXISTING GWB CEILING, COORDINATE WITH THE WORK, EXISTING FRAMING TO REMAIN |
| D42 | REMOVE EXISTING LIGHTING FIXTURES, COORDINATE WITH THE WORK, SEE ELECTRICAL DRAWINGS |
| D43 | REMOVE EXISTING ENTRANCE FLOORING, INFILL EXISTING RECESSED WALK OFF OPENING, COORDINATE WITH THE WORK |
| D44 | REMOVE EXISTING DOOR AND HARDWARE IN ITS ENTIRETY. CLEAN AND STORE FOR RE-USE |
| D45 | EXISTING SHELVING TO REMAIN |
| D46 | REMOVE EXISTING WALL IN ITS ENTIRETY AS INDICATED BY DASHED LINES. ALL COMPONENTS WITHIN THE WALLS SHALL BE MOVED AS TO COORDINATE WITH THE OVERALL SCOPE OF WORK |
| D47 | REMOVE EXISTING SKYLIGHT COVER, COORDINATE WITH THE WORK |

General Demolition Notes:

- REFERENCE G102 FOR GENERAL DEMOLITION NOTES
- PREP SUB-FLOOR TO RECEIVE SCHEDULED FINISH, SURFACE TO BE FREE OF ALL DIRT/GREASE AND DEBRIS
- REMOVE AND SALVAGE ALL EXISTING INSECT LAMP FOR REUSE. COORDINATE WITH OWNER ON NEW LOCATION.



Owner:
Schenectady County
612 State Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
322 State Street
Schenectady, NY 12305

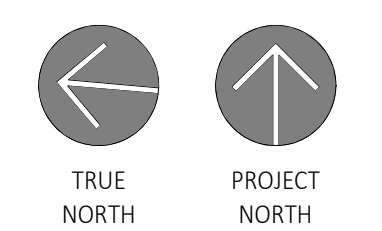
Stamp:

Project:
INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**
100 Kellar Avenue Schenectady, NY 12306

| BID SET RFB-2024-39 | | |
|---------------------|-------------|------------|
| No. | REVISION # | DATE: |
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

Drawn By: C2 Architecture
Scale: As Noted
Date: 05/31/2024
Job No: 2407
Sheet Title:
**ENLARGED DEMOLITION
PLAN - WEST**
Sheet Number:
D102

1 Enlarged Demolition Plan (West)
D102 SCALE: 1/4" = 1'-0"

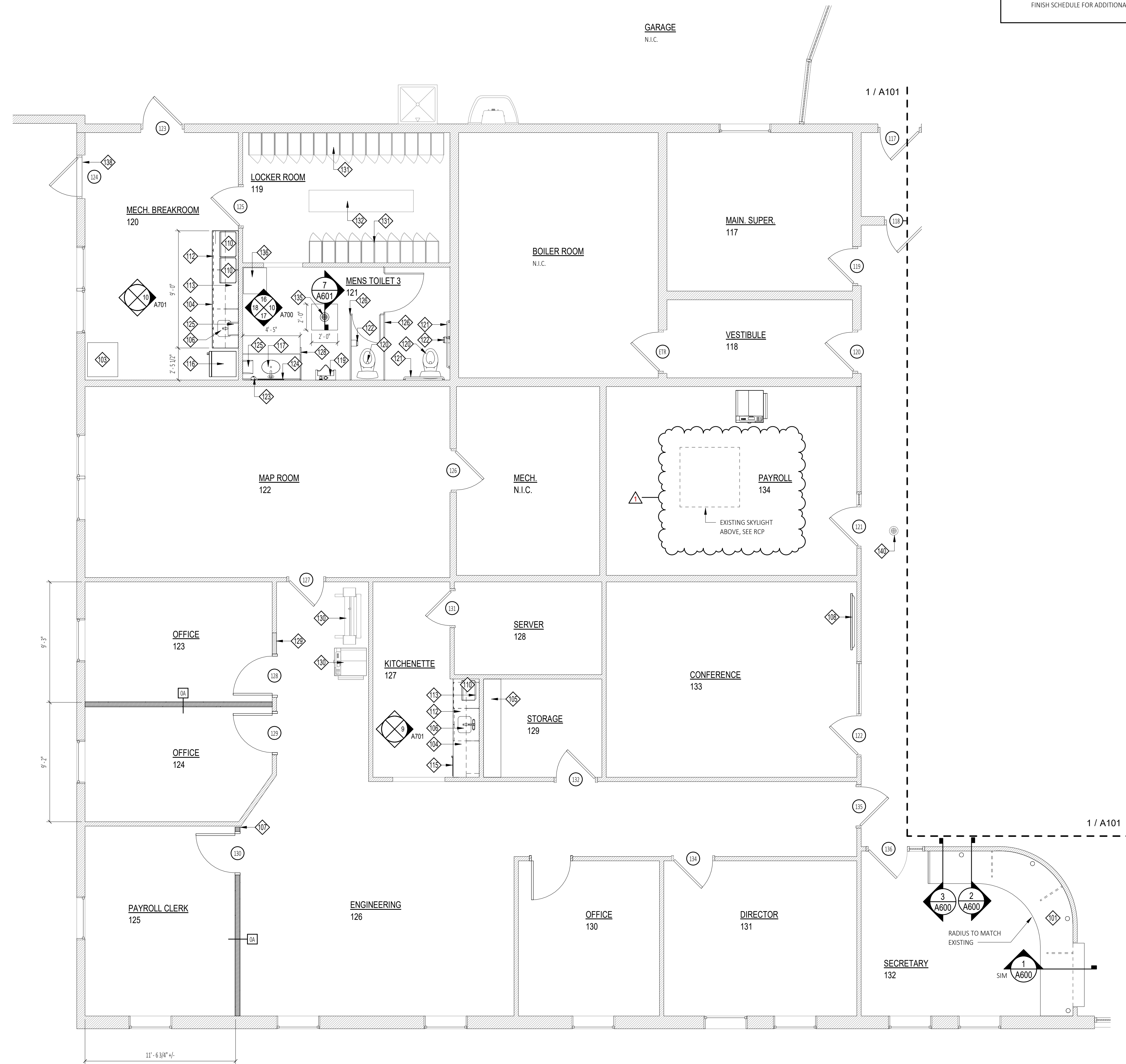


General Floor Plan Notes:

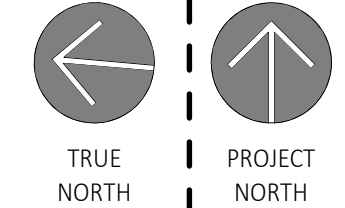
1. REFERENCE G101 AND G102 FOR ADDITIONAL NOTES
2. PATCH ALL WALLS AS REQUIRED FROM REMOVALS TO PROVIDE SMOOTH AND LEVEL FINISH IN ORDER FOR WALLS TO RECEIVE SCHEDULED FINISH
3. PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES
4. REPLACE ALL CEILING TILES WITH NEW. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION

FLOOR PLAN KEYNOTE LEGEND

| | |
|-----|---|
| 101 | 24" DEEP WALL MOUNTED COUNTER ON WALL SUPPORT BRACKETS. SEE DETAILS FOR ADDITIONAL INFORMATION |
| 102 | 12"(W)x 20"(D)x 60"(H) METAL LOCKER SYSTEM. SEE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION. SEE PLAN AND INTERIOR ELEVATIONS FOR LOCKER LAYOUT FOR SINGLE TIER |
| 103 | EXISTING RELOCATED VENDING MACHINES, COORDINATE POWER WITH ELECTRICAL |
| 104 | SOLID SURFACE COUNTERTOP (SS-1) ON BASE CABINETS. SEE INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION |
| 105 | WALL MOUNTED ADJUSTABLE 16" DEEP PLASTIC LAMINATE (PL-3) SHELVING SYSTEM. G.C. TO PROVIDE SOLID BLOCKING IN WALL AS REQUIRED |
| 106 | UNDERMOUNT STAINLESS STEEL SINK, SEE PLUMBING DRAWINGS |
| 107 | COORDINATE FACE OF GWB TO ALIGN WITH EXISTING CORNER |
| 108 | WALL MOUNTED T.V., PROVIDE SOLID BLOCKING IN WALL AS REQUIRED. COORDINATE FINAL MOUNTING HEIGHT WITH OWNER. ELECTRICIAN TO PROVIDE POWER AND DATA |
| 109 | EXHAUST HOOD (GE 350 WALL MOUNTED JVM301), G.C. TO COORDINATE ELECTRICAL AND MECHANICAL REQUIREMENTS. REFERENCE MECHANICAL DRAWINGS FOR EXHAUST DUCT COORDINATION |
| 110 | EXISTING RELOCATED MICROWAVE. G.C. TO COORDINATE ELECTRICAL REQUIREMENTS WITH APPLIANCE |
| 111 | EXISTING RELOCATED ELECTRIC STOVE. G.C. TO COORDINATE ELECTRICAL |
| 112 | BASE CABINETS, SEE DETAILS AND ELEVATIONS FOR ADDITIONAL INFORMATION |
| 113 | WALL CABINETS, SEE DETAILS AND ELEVATIONS FOR ADDITIONAL INFORMATION |
| 114 | TALL CABINET, SEE DETAILS AND ELEVATIONS FOR ADDITIONAL INFORMATION |
| 115 | EXISTING MINI-FRIDGE (18 1/2" WIDE X 17 1/2" DEEP X 32 1/2" HIGH), G.C. TO COORDINATE WITH ELECTRICAL |
| 116 | EXISTING RELOCATED REFRIGERATOR, COORDINATE WITH ELECTRICAL AND PLUMBING CONTRACTS |
| 117 | WALL MOUNTED 24" DEEP SOLID SURFACE COUNTERTOP WITH UNDERMOUNT PORCELAIN SINK. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION |
| 118 | EXISTING DOOR SILL TO REMAIN |
| 119 | WALL MOUNTED URINAL. SEE PLUMBING DRAWINGS |
| 120 | TOILET, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION |
| 121 | ANSI A117.1 COMPLIANT GRAB BARS (BOBRICK B-5806). PROVIDE SOLID BLOCKING IN WALL AS REQUIRED |
| 122 | SURFACE MOUNTED TOILET PAPER DISPENSER (BOBRICK B-2888) |
| 123 | SURFACE MOUNTED SOAP DISPENSER (BOBRICK B-2111) |
| 124 | 24" WIDE X 36" HIGH WALL MOUNTED MIRROR (B-165 2436), PROVIDE BLOCKING AS REQUIRED. PROVIDE PLYWOOD BLOCKING BEHIND MIRROR TO MAKE FLUSH WITH TILE |
| 125 | EXISTING RELOCATED PAPER TOWEL DISPENSER |
| 126 | FLOOR ANCHORED OVERHEAD BRACED TOILET PARTITIONS (TP-1). PROVIDE SOLID BLOCKING IN WALL AS REQUIRED |
| 127 | 18" WIDE X 36" HIGH WALL MOUNTED MIRROR (BOBRICK B-165 1836), PROVIDE BLOCKING AS REQUIRED. PROVIDE PLYWOOD BLOCKING BEHIND MIRROR TO MAKE FLUSH WITH TILE |
| 128 | WALL MOUNTED URINAL PARTITION (TP-1), PROVIDE BLOCKING AS REQUIRED |
| 129 | INFILL WALL TO MATCH EXISTING CONSTRUCTION, FINISH TO ALIGN WITH EXISTING |
| 130 | RELOCATED EXISTING PRINTER/PLOTTER. COORDINATE WITH ELECTRICAL |
| 131 | EXISTING LOCKERS TO REMAIN, PROTECT DURING CONSTRUCTION FOR REUSE |
| 132 | EXISTING BENCH TO REMAIN, PROTECT DURING CONSTRUCTION FOR REUSE |
| 133 | EXISTING T.V., PROTECT DURING CONSTRUCTION FOR REUSE |
| 134 | NEW MOP SINK, SEE PLUMBING DRAWINGS |
| 135 | FLOOR DRAIN, SEE DETAILS FOR ADDITIONAL INFORMATION |
| 136 | EXISTING RELOCATED MECHANICS UNIFORM STORAGE CABINET |
| 137 | 12"(W)x 20"(D)x 60"(H) ADA METAL LOCKER SYSTEM. SEE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION. SEE PLAN AND INTERIOR ELEVATIONS FOR LOCKER LAYOUT FOR SINGLE TIER |
| 138 | CLEAN EXISTING SILL AND FLASH PATCH DIP AGAINST BOTTOM OF WEATHER STRIP |
| 140 | EXISTING SINK TO REMAIN, PROTECT DURING CONSTRUCTION FOR REUSE. SEE PLUMBING DRAWINGS |
| 141 | INFILL EXISTING RECESSED WALK OFF OPENING FLUSH WITH EXISTING CONCRETE |
| 142 | EXISTING SHELVING TO REMAIN |
| 143 | 60"(W)x 12"(D)x 18" (H) FLOOR MOUNTED BENCH. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION |



1 Floor Enlargement Plan (West)
A102 SCALE: 1/4" = 1'-0"



Owner:
 Schenectady County
 612 State Street
 Schenectady, NY 12305

Architect:
 C2 Architecture
 24 Airport Road
 Schenectady, NY 12302

MEP:
 ME Engineering
 322 State Street
 Schenectady, NY 12305

Stamp:

Project:
 INTERIOR RENOVATIONS TO:
SCHENECTADY COUNTY
DEPW
 100 Kellar Avenue Schenectady, NY 12306

BID SET RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |

Drawn By: C2 Architecture
Scale: As Noted
Date: 05/31/2024
Job No: 2407
Sheet Title:
ENLARGED FLOOR PLAN - WEST
Sheet Number:

A102
 PLOT DATE: 7/31/2024 5:20:47 PM

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.

LIGHT FIXTURE SCHEDULE

| Type | Description | Manufacturer | Specification | Comments |
|------|--|-------------------|--|---------------------------------|
| EM | LED EMERGENCY LIGHT | LITHONIA LIGHTING | ELM2L M12 | |
| EX1 | LED EXIT SIGN | LITHONIA LIGHTING | LQM 5 W 3 R 120/277 M6 | |
| F1 | 8' SUSPENDED DIRECT/INDIRECT LED FIXTURE | STARTEK LIGHTING | WS-BEAMDI-8FT-1000-350-WD-BW-35-80-PB-ACB10-U-1C | ADD DIRECTIONAL ARROWS, SEE RCP |
| F2 | 4' SURFACE MOUNTED LED PANEL | LITHONIA LIGHTING | FMLWL48-8-35-MVOLT | |

CEILING PLAN KEYNOTE LEGEND

| | |
|-----|--|
| 801 | NEW 5/8" GWB CEILING ON EXISTING FRAME (VERIFY IN FIELD), FINISH TO MATCH EXISTING, PRIME AND PAINT (PT-1) ENTIRE ROOM CEILING |
| 802 | EXISTING GWB CEILING TO REMAIN, PAINTED (PT-1) |
| 803 | INFILL CEILING OPENING WITH NEW 16" X 16" ACCESS PANEL, COORDINATE WITH THE WORK |
| 804 | NEW CEILING TILES. EXISTING CEILING GRID AND FIXTURES TO REMAIN |
| 805 | EXISTING ACT CEILING TO REMAIN, COORDINATE WITH THE WORK AND MECHANICAL IF REQUIRED |
| 806 | EXISTING EXPOSED CEILING TO REMAIN, PAINTED (PT-7) |
| 807 | REPAIR, PATCH, AND TAPE DAMAGED AREA, FINISH TO MATCH EXISTING, PRIME AND PAINT (PT-1) ENTIRE ROOM CEILING |
| 808 | EXISTING EXIT SIGN TO REMAIN |
| 809 | REPLACE EXISTING EMERGENCY LIGHT. SEE LIGHTING SCHEDULE FOR ADDITIONAL INFORMATION |
| 810 | NEW CUT CEILING TILE AND WALL GRID FRAMING TO MATCH EXISTING (VERIFY IN FIELD) |
| 811 | EXTEND CEILING GRID TO MATCH EXISTING |
| 812 | PAINT (PT-1) EXISTING SKYLIGHT WELL AND SOFFIT |

Reflected Ceiling Plan General Notes

- ALL LIGHT FIXTURES TO REMAIN IN EXISTING LOCATION, OTHER NOTED OTHERWISE.
- ALL NEW ACT TILES TO MATCH EXISTING TILES IN SPACE. G.C. TO VERIFY IN FIELD.
- REPLACE ALL EMERGENCY LIGHTING FIXTURES. SEE LIGHTING SCHEDULE FOR ADDITIONAL INFORMATION.



1 Reflected Ceiling Plan
A800 SCALE: 1/8" = 1'-0"



Owner:
Schenectady County
612 State Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
322 State Street
Schenectady, NY 12305

Stamp:

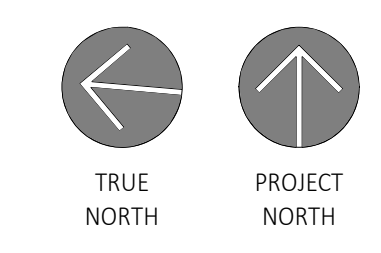
Project:
INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**
100 Kellar Avenue Schenectady, NY 12306

BID SET RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |

Drawn By: C2 Architecture
Scale: As Noted
Date: 05/31/2024
Job No: 2407
Sheet Title:

REFLECTED CEILING PLAN
Sheet Number:
A800



Owner:
Schenectady County
612 State Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
433 State Street
Schenectady, NY 12305

Stamp:

Project:

INTERIOR RENOVATIONS TO:
SCHENECTADY COUNTY
DEPW
100 Kellar Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

Drawn By: CES
Scale: As Noted
Date: 05/31/2024
Job No: 2407

Sheet Title:
**PLUMBING GENERAL
NOTES, SCHEDULES
AND SYMBOLS LIST**

Sheet Number:

P001

PLUMBING GENERAL NOTES

THESE NOTES ARE APPLICABLE TO THE FULL SET OF CONTRACT DOCUMENTS.

- A. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE. THE LOCATIONS SHOWN MUST BE CONSIDERED APPROXIMATE. OTHER SUCH WORK MAY EXIST. HOWEVER, LOCATION AND SIZE ARE NOT PRESENTLY KNOWN. IT IS STRONGLY ENCOURAGED TO VISIT SITE PRIOR TO BID TO REVIEW EXISTING CONDITIONS AND CONFIRM SCOPE OF WORK.
- B. WHEN EXISTING CONSTRUCTION IS DAMAGED DURING WORK BY THIS CONTRACTOR, REPAIR AND/OR REPLACE WITH SIMILAR MATERIALS AS MUCH AS POSSIBLE, SUBJECT TO ARCHITECTS APPROVAL.
- C. DISPOSE OF ALL DEMOLITION AND/OR OTHER WASTE MATERIALS CAUSED BY WORK OF THIS CONTRACTOR. LEGALLY DISPOSE ALL MATERIALS TO A LOCATION OFF SITE.
- D. COORDINATE AND SCHEDULE WORK AND SHUTDOWNS WITH THE OWNER AND OTHER TRADES PRIOR TO DEMOLITION.
- E. ALL EXISTING PIPING TO REMAIN SHALL BE RECONNECTED TO ACTIVE SERVICE PIPING.
- F. ALL PIPING TO BE REMOVED SHALL BE REMOVED BACK TO ACTIVE PIPING AND CAPPED. VALVE AND CAP ALL WATER PIPING. REMOVE ALL INACTIVE PIPING UNLESS NOTED.
- G. ALL PIPING TO BE REMOVED AND LOCATED WITHIN A WALL TO REMAIN MAY BE ABANDONED IN PLACE UNLESS NOTED. REMOVE PIPING BACK TO BEHIND THE FINISHED WALL SURFACE AND CAP.
- H. PATCH HOLES IN EXISTING CONSTRUCTION LEFT BY THE REMOVAL OF PIPING OR EQUIPMENT WITH MATERIALS TO MATCH EXISTING CONSTRUCTION. MAINTAIN FIRE/SMOKE RATING.
- I. DEMOLITION SHALL INCLUDE, BUT NOT BE LIMITED TO: PIPING, VALVES, FIXTURES, EQUIPMENT, HANGERS, SUPPORTS, AND INSULATION EXCEPT ASBESTOS.
- J. REMOVE EXISTING CONSTRUCTION IN THE WAY OF NEW WORK. PROTECT BUILDING AND FURNISHINGS FROM DAMAGE.
- K. WHERE NEW WORK IS TO BE INSTALLED ABOVE AN EXISTING CEILING, PROVIDE FOR THE REMOVAL OF THE CEILING. UPON COMPLETION OF WORK, REPAIR ALL DAMAGED CEILING SURFACES. REPLACE ALL DAMAGED TILES.
- L. SLEEVE AND SEAL ALL WALL AND FLOOR PENETRATIONS. PROVIDE FIRESTOPPING FOR ALL PENETRATIONS.
- M. MAINTAIN SERVICE CLEARANCES OF ALL EQUIPMENT. ADVISE OTHER TRADES OF THE REQUIRED SERVICE CLEARANCES.
- N. PROVIDE FOR THE DRAINING AND REFILLING OF PIPING SYSTEMS, INCLUDING AIR REMOVAL, RESETTING OF FLUSH VALVES, FLUSHING SYSTEMS OF DIRT AND SCALE CAUSED BY SHUTDOWNS AND STARTUPS.
- O. REFER TO EQUIPMENT/ FIXTURE SCHEDULE FOR FINAL CONNECTION SIZES.
- P. PROVIDE CLEANOUTS AT THE BASE OF ALL STORM, SANITARY AND WASTE STACKS.
- Q. PITCH 4" AND LARGER SANITARY AND WASTE PIPING AT 1/8" PER FOOT UNLESS OTHERWISE NOTED. FOR SANITARY AND WASTE PIPING 3" AND SMALLER PITCH AT 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- R. COORDINATE LOCATION AND ELEVATION OF STORM AND SANITARY LATERALS AND WATER SERVICE WITH THE SITE CONTRACTOR. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO THE CONTRACTORS FAILURE TO COORDINATE TERMINATION POINTS. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE FINAL CONNECTION TO THE SITE UTILITIES.
- S. MINIMUM SIZE OF WASTE PIPING BELOW SLAB SHALL BE 3". MINIMUM SIZE OF VENT PIPING BELOW SLAB SHALL BE 2".
- T. PITCH 4" AND LARGER STORM PIPING AT 1/8" PER FOOT UNLESS NOTED OTHERWISE.

| PLUMBING SYMBOL LIST | |
|----------------------|--------------------------------------|
| SYMBOL | DESCRIPTION |
| --- | WORK TO BE REMOVED |
| ⊙ | POINT OF CONNECTION |
| ⊙ | POINT OF DISCONNECTION |
| NTS | NOT TO SCALE |
| (E) | EXISTING |
| (ETR) | EXISTING TO REMAIN |
| AFF | ABOVE FINISHED FLOOR |
| BFF | BELOW FINISHED FLOOR |
| VTR | VENT THRU ROOF |
| GC | GENERAL CONTRACTOR |
| MC | MECHANICAL CONTRACTOR |
| PC | PLUMBING CONTRACTOR |
| EC | ELECTRICAL CONTRACTOR |
| (E) | EXISTING PIPING |
| --- | NEW PIPING LOCATED ABOVE FLOOR/SLAB |
| --- | NEW PIPING LOCATED BELOW FLOOR/SLAB |
| • | COLD WATER PIPING (CW) |
| •• | HOT WATER PIPING (HW) |
| ••• | HOT WATER RECIRCULATING PIPING (HWR) |
| SAN | SANITARY SEWER PIPING |
| V | VENT PIPING (V) |
| ↳ | ELBOW DOWN |
| ↳↳ | 45° OFFSET |
| ↳ | ELBOW UP |
| ⊕ | BOTTOM TEE CONNECTION |
| ⊔ | TOP TEE CONNECTION |
| ⊔ | "P" TRAP |
| ↳ | PIPE CONTINUATION |
| ↳ | CAP OR PLUG |
| ⊕ | DECK PLATE CLEANOUT (DPCO) |
| ⊕ | WALL PLATE CLEANOUT (WPCO) |
| ⊕ | CLEANOUT (CO) |
| ⊕ | FLOOR DRAIN (FD) / FLOOR SINK (FS) |
| ⊕ | ROOF DRAIN |
| ⊕ | SHUT OFF VALVE |
| ⊕ | BALANCING VALVE |
| ⊕ | CHECK VALVE |
| ⊕ | RELIEF VALVE |
| ⊕ | PIPE GUIDE |
| ⊕ | UNION |
| (X) | DRAWING KEYNOTE |
| (X) | DEMOLITION/REMOVAL KEYNOTE |
| (X) | PIPE RISER CALLOUT |

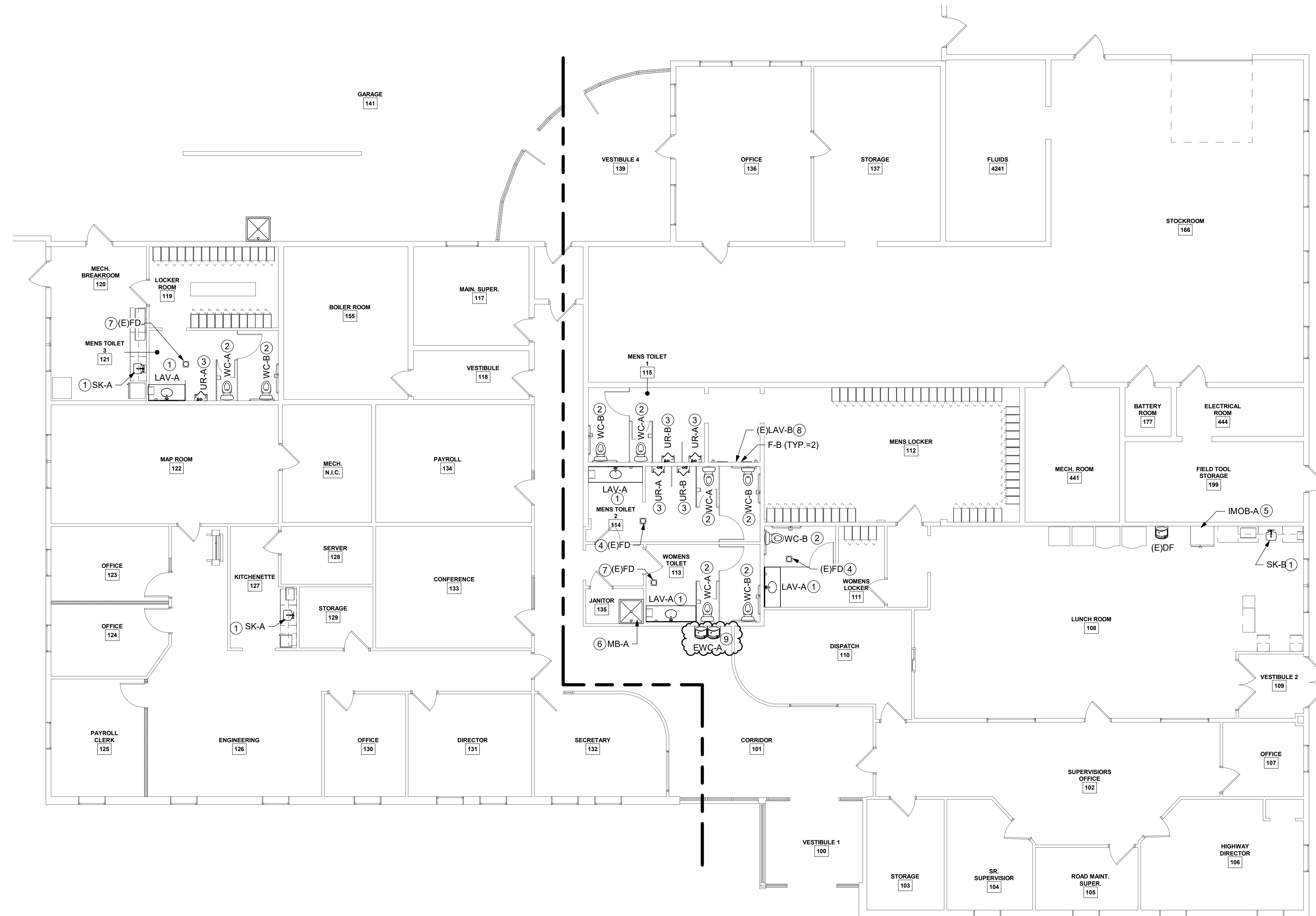
FIXTURE AND EQUIPMENT CONNECTION SCHEDULE

| DESIGNATION | DESCRIPTION | COLD WATER | HOT WATER | WASTE OR SANITARY | VENT | MODEL |
|--------------|--------------------------------------|------------|-----------|-------------------|--------|--|
| EWCA FD-A | ELECTRIC WATER COOLER FLOOR DRAIN | 1/2" | - | 1-1/2" | 1-1/2" | OASIS MODEL P68FEBSL. BIL-LEVEL WALL MOUNTED. ADA COMPLIANT WITH BOTTLE FILLER. JAY R. SMITH #2210-A |
| IMOB-A | ICE MACHINE BOX | 1/2" | - | - | - | GUY GRAY ICE MAKER BOX AS SPECIFIED. |
| LAV-A | LAVATORY SINK | 1/2" | 1/2" | 1-1/2" | 1-1/2" | AMERICAN STANDARD OVALYN #0497221. UNDERMOUNT SINK. PROVIDE MANUAL FAUCET F-A PER SPECIFICATION |
| (E)LAV-B | LAVATORY SINK | 1/2" | 1/2" | 1-1/2" | 1-1/2" | EXISTING STAINLESS WASHBASIN SINK TO REMAIN. RETROFIT F-B PER SPECIFICATION. |
| MB-A | MOP BASIN | - | - | 3" | 2" | FIAT MODEL TSB. BASIN REPLACEMENT ONLY. ALL ACCESSORIES TO REMAN. |
| SK-A | KITCHENETTE/BREAKROOM SINK | 1/2" | 1/2" | 1-1/2" | 1-1/2" | UNDERMOUNT STAINLESS18X19. COUNTERTOP BY ARCHITECT. INCLUDE F-C AS SPECIFIED |
| SK-B | LUNCHROOM SINK | 1/2" | 1/2" | 1-1/2" | 1-1/2" | UNDERMOUNT STAINLESS 22X19. COUNTERTOP BY ARCHITECT. INCLUDE F-C AS SPECIFIED |
| UR-A | URINAL | 3/4" | - | 2" | 1-1/2" | WALL MOUNT. INCLUDE MANUAL FLUSH VALVE FV-B AS SPECIFIED. |
| UR-B (ADA) | ADA URINAL | 3/4" | - | 2" | 1-1/2" | MOUNT AT ADA HEIGHT. MANUAL FLUSH VALVE FV-B AS SPECIFIED. |
| WC-A | WATER CLOSET (TANK TYPE) | 1/2" | - | 4" | 2" | COMFORT HEIGHT. ELONGATED BOWL. TANK-TYPE PORCELAIN VITREOUS CHINA GLAZE. HEAVY DUTY OPEN FRONT SEAT |
| WC-B (ADA) | WATER CLOSET (TANK TYPE) | 1/2" | - | 4" | 2" | TANK-TYPE PORCELAIN VITREOUS CHINA GLAZE. HEAVY DUTY OPEN FRONT SEAT |

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.

⊗ P-101 DRAWING NOTES:

- 1 PROVIDE NEW SINK AT THIS LOCATION PER SPECIFICATIONS. CONNECT TO EXISTING WASTE AND WATER LINES. PROVIDE NEW STOPS, FLEXIBLE SUPPLY PIPING, AND P-TRAP AS SPECIFIED.
- 2 PROVIDE NEW TANK TYPE WATER CLOSET AT THIS LOCATION. CONNECT TO EXISTING FLANGE FOR FLOOR OUTLET TO SANITARY WASTE AND EXISTING COLD WATER SUPPLY.
- 3 PROVIDE NEW URINAL AND FLUSH VALVE AT THIS LOCATION. CONNECT TO EXISTING WALL OUTLET TO SANITARY WASTE AND EXISTING COLD WATER SUPPLY.
- 4 INSTALL NEW SQUARE FLOOR DRAIN GRATE TO MATCH EXISTING AT THIS LOCATION.
- 5 PROVIDE NEW ICEMAKER BOX IN WALL AT THIS LOCATION FOR REFRIGERATOR WATER SUPPLY. ROUTE 1/2" CW FROM LUNCHROOM SINK TO ICEMAKER BOX. PC TO MAKE FINAL CONNECTION TO REFRIGERATOR WITH FLEXIBLE PLASTIC TUBING.
- 6 PROVIDE NEW MOP BASIN AT THIS LOCATION. CONNECT TO EXISTING SANITARY PIPING BELOW GRADE.
- 7 ADAPT TO EXISTING SANITARY PIPING BELOW GRADE AT THIS LOCATION. PROVIDE NEW P-TRAP AND FLOOR DRAIN ASSEMBLY. INSTALL GRATE AND LEVEL FLOOR DRAIN UPON COMPLETION OF NEW FLOOR TILING.
- 8 REUSE EXISTING WASTE AND WATER SUPPLY PIPING. PROVIDE NEW STOPS AND WATER SUPPLY PIPING. PROVIDE NEW P-TRAP. INSTALL NEW F-B PER SPECIFICATION. REINSTALL EXISTING STAINLESS SINK UPON COMPLETION OF NEW WALL COVERING.
- 9 PROVIDE NEW CARRIER AND ELECTRIC WATER COOLER WITH BOTTLE FILLER AT THIS LOCATION. CONNECT TO EXISTING WASTE AND COLD WATER SUPPLY IN WALL.



1 FIRST FLOOR PLAN (OVERALL) - PLUMBING
 1/8" = 1'-0"

Owner:
 Schenectady County
 612 State Street
 Schenectady, NY 12305

Architect:
 C2 Architecture
 24 Airport Road
 Schenectady, NY 12302

MEP:
 ME Engineering
 433 State Street
 Schenectady, NY 12305

Stamp:

Project:
 INTERIOR RENOVATIONS TO:
SCHENECTADY COUNTY
DEPW
 100 Kellar Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

Drawn By: CES
 Scale: As Noted
 Date: 05/31/2024
 Job No: 2407

Sheet Title:
**FIRST FLOOR PLAN -
 PLUMBING**

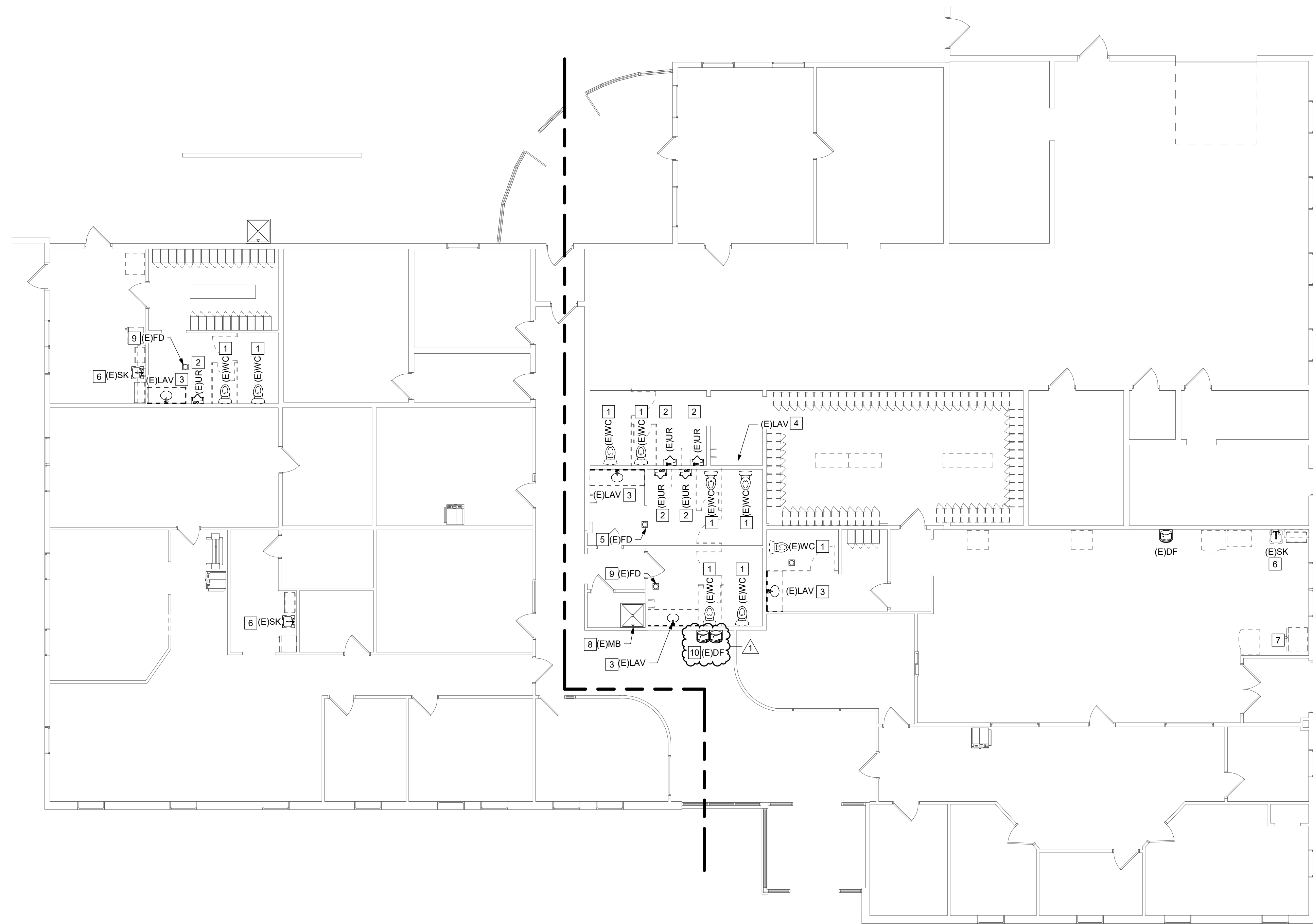
Sheet Number:
P101

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.

Owner:
 Schenectady County
 612 State Street
 Schenectady, NY 12305

Architect:
 C2 Architecture
 24 Airport Road
 Schenectady, NY 12302

MEP:
 ME Engineering
 433 State Street
 Schenectady, NY 12305



[X] PD101 DEMOLITION NOTES:

- 1 DISCONNECT AND REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED APPURTENANCES. PREPARE SANITARY AND WATERLINES FOR RECONNECTION TO NEW.
- 2 DISCONNECT AND REMOVE EXISTING URINAL AND ALL ASSOCIATED APPURTENANCES. PREPARE SANITARY AND WATERLINES FOR RECONNECTION TO NEW.
- 3 DISCONNECT AND REMOVE EXISTING LAVATORY SINK AND ALL ASSOCIATED APPURTENANCES. PREPARE WASTE AND WATERLINES FOR RECONNECTION TO NEW.
- 4 DISCONNECT EXISTING WASH BASIN AND TURN OVER TO OWNER FOR TEMPORARY STORAGE. SALVAGE EXISTING STAINLESS STEEL WASH STATION. STORE DURING CONSTRUCTION AND PREPARE FOR REINSTALLATION UPON COMPLETION OF NEW WALL TILE COVERINGS.
- 5 DISCONNECT AND REMOVE EXISTING FLOOR DRAIN GRATE AT THIS LOCATION. TEMPORARILY PLUG DURING NEW FLOORING INSTALLATION.
- 6 DISCONNECT AND REMOVE EXISTING SINK AND ALL ASSOCIATED APPURTENANCES. PREPARE SANITARY AND WATER PIPING FOR CONNECTION TO NEW.
- 7 DISCONNECT AND REMOVE EXISTING WATERLINE CONNECTION TO EXISTING REFRIGERATOR AND ALL OTHER ASSOCIATED APPURTENANCES.
- 8 DISCONNECT AND REMOVE EXISTING MOP BASIN. PREPARE SANITARY CONNECTION FOR CONNECTION TO NEW.
- 9 DISCONNECT AND REMOVE EXISTING FLOOR DRAIN BODY AND P-TRAP BELOW FINISHED FLOOR AND SLAB AT THIS LOCATION. PREPARE PIPING FOR CONNECTION TO NEW P-TRAP.
- 10 DISCONNECT AND REMOVE EXISTING DRINKING FOUNTAIN AT THIS LOCATION. PREPARE EXISTING WASTE AND COLD WATER SUPPLY LINE FOR CONNECTION TO NEW DRINKING FOUNTAIN.

Stamp:

Project:

INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
 DEPW**

100 Kellar Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

Drawn By: CES

Scale: As Noted

Date: 05/31/2024

Job No: 2407

Sheet Title:
**FIRST FLOOR
 DEMOLITION PLAN -
 PLUMBING**

Sheet Number:

PD101

PLOT DATE: 7/31/2024 4:57:52 PM

1 FIRST FLOOR DEMOLITION PLAN (OVERALL) - PLUMBING

1/8" = 1'-0"

0' 4' 8' 16'

Copyright © 2024, C2 ARCHITECTURE, PC. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, PC. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, PC.

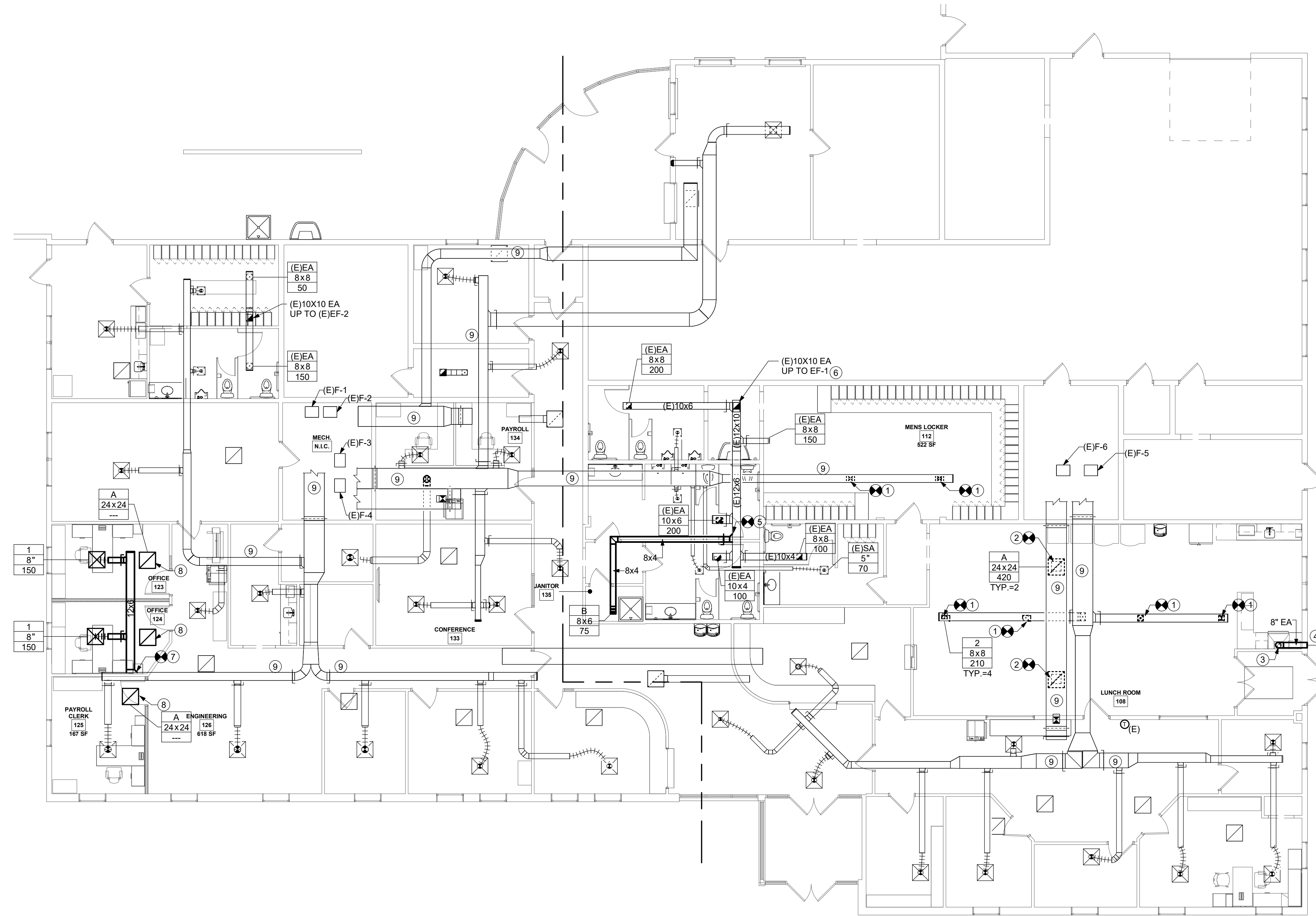
Owner:
 Schenectady County
 612 State Street
 Schenectady, NY 12305

Architect:
 C2 Architecture
 24 Airport Road
 Schenectady, NY 12302

MEP:
 ME Engineering
 433 State Street
 Schenectady, NY 12305

DRAWING NOTES:

- 1 PROVIDE NEW SUPPLY AIR TERMINAL AT THIS LOCATION.
- 2 PROVIDE NEW RETURN AIR TERMINAL AT THIS LOCATION.
- 3 PROVIDE 6" EXHAUST AIR DUCTWORK PER SPECIFICATIONS. CONNECT TO EXHAUST HOOD AND ROUTE TO EXTERIOR.
- 4 PROVIDE WALL CAP AND BACKDRAFT DAMPER AT THIS LOCATION. SEAL PENETRATION WEATHERTIGHT.
- 5 CONNECT TO EXISTING EXHAUST DUCTWORK AT THIS LOCATION.
- 6 PROVIDE NEW EF-1 ON ROOFTOP AS SPECIFIED.
- 7 CONNECT TO EXISTING SUPPLY AIR DUCTWORK AT THIS LOCATION.
- 8 PROVIDE NEW RETURN AIR TERMINAL AT THIS LOCATION (LAY IN CEILING GRID).
- 9 PROVIDE DUCT CLEANING PER SPECIFICATIONS FOR THE SUPPLY AND RETURN OF THIS SYSTEM.



1 FIRST FLOOR PLAN (OVERALL) - HVAC
 1/8" = 1'-0"



Stamp:

Project:
 INTERIOR RENOVATIONS TO:
SCHENECTADY COUNTY
DEPW
 100 Kellar Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

Drawn By: CES
 Scale: As Noted
 Date: 05/31/2024
 Job No: 2407

Sheet Title:
FIRST FLOOR PLAN
(OVERALL) - HVAC

Sheet Number:

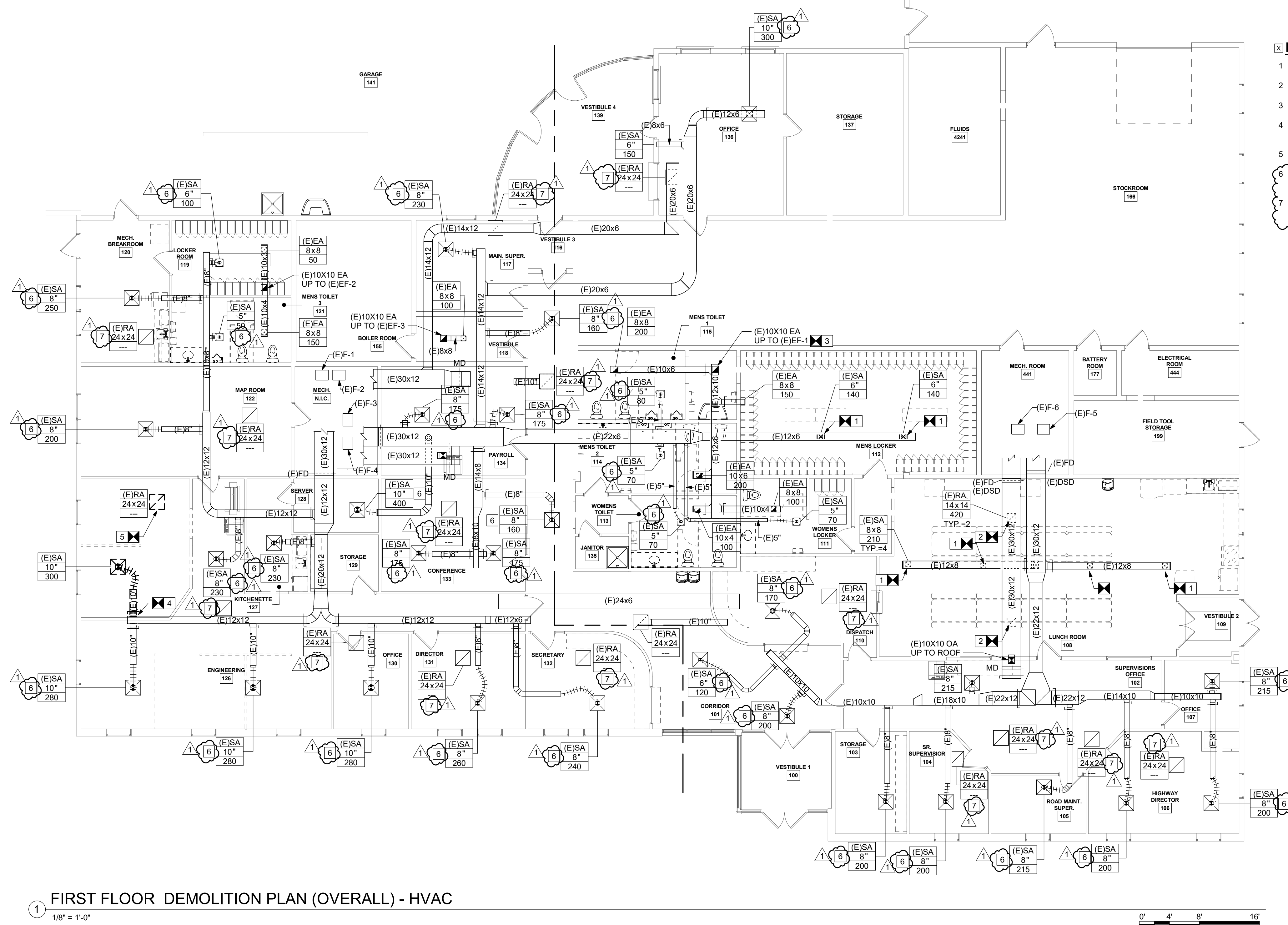
M101

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.

Owner:
Schenectady County
612 State Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
433 State Street
Schenectady, NY 12305



- DEMOLITION NOTES:**
- DISCONNECT AND REMOVE EXISTING SUPPLY AIR TERMINAL AT THIS LOCATION. PREPARE FOR FUTURE CONNECTION TO NEW.
 - DISCONNECT AND REMOVE EXISTING RETURN AIR TERMINAL AT THIS LOCATION. PREPARE FOR FUTURE CONNECTION TO NEW.
 - DISCONNECT AND REMOVE EXISTING EXHAUST FAN ON ROOFTOP. PREPARE DISCONNECT AND ROOF CURB FOR CONNECTION TO NEW.
 - DISCONNECT & REMOVE EXISTING 10" ROUND DUCT, FLEX SUPPLY AND EXISTING SUPPLY AIR DIFFUSER. PATCH EXISTING DUCTWORK AIR TIGHT.
 - DISCONNECT AND REMOVE EXISTING RETURN AIR TERMINAL AT THIS LOCATION.
 - REPLACE EXISTING SUPPLY DIFFUSER AT THIS LOCATION WITH A TYPE 1, SIZE ACCORDING TO NECK SIZE INDICATED AND BALANCE TO CFM INDICATED. TYPICAL OF ALL SUPPLY DIFFUSERS.
 - REPLACE EXISTING RETURN GRILLES AT THIS LOCATION WITH TYPE A GRILLE, SIZE ACCORDING TO NECK SIZE INDICATED AND BALANCE TO CFM INDICATED. TYPICAL OF ALL RETURN GRILLES.

1 FIRST FLOOR DEMOLITION PLAN (OVERALL) - HVAC
1/8" = 1'-0"

Stamp:

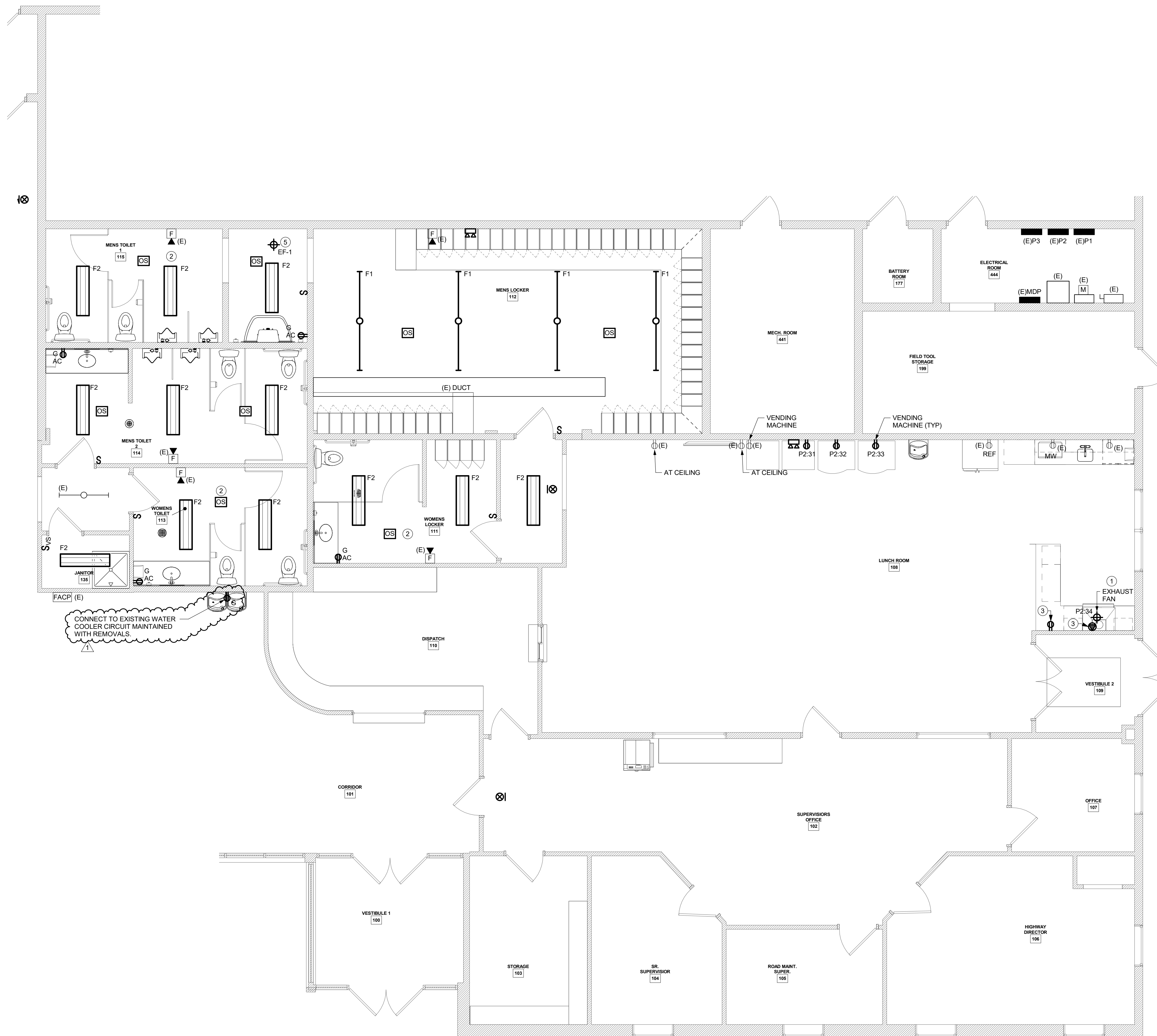
Project:
INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**
100 Kellar Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |

| | |
|---------------|--|
| Drawn By: | CES |
| Scale: | As Noted |
| Date: | 05/31/2024 |
| Job No: | 2407 |
| Sheet Title: | FIRST FLOOR DEMOLITION PLAN (OVERALL) - HVAC |
| Sheet Number: | MD101 |

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.



GENERAL NOTES:

- A. UNLESS OTHERWISE NOTED, CIRCUITING SHALL BE A MINIMUM OF (2)#12 & (1)#12G IN 3/4" CONDUIT. BRANCH CIRCUITS MAY BE TYPE MC CABLE WHERE NEEDED ABOVE EXISTING CEILING THAT ARE NOT BEING REPLACED.
- B. RECONNECT ELECTRICAL DEVICES TO EXISTING CIRCUITS MAINTAINED WITH REMOVALS. SPLICE AND EXTEND CONDUIT AND WIRING AS REQUIRED. REUSE EXISTING BOXES FOR NEW RECEPTACLES AND SWITCHES. PROVIDE NEW FACEPLATES.
- C. EXTEND EXISTING LIGHTING BRANCH CIRCUITS TO ACCOMMODATE NEW SWITCHING ARRANGEMENTS WHERE PROVIDED.
- D. EXIT SIGNS AND EMERGENCY LIGHTING UNITS SHALL BE TIED IN TO THE LOCAL LIGHTING CIRCUIT.
- E. WHERE NEW CIRCUITS ARE CALLED OUT, UTILIZE AVAILABLE POLE SPACES IN EXISTING PANELS, PROVIDE 20A/1P CIRCUIT BREAKERS AS REQUIRED AND BRANCH CIRCUIT WIRING TO DEVICES.
- F. REFER TO SCHEDULES FOR ADDITIONAL INFORMATION.
- G. SURFACE RACEWAY SHALL BE USED FOR NEW DEVICES ON EXISTING WALLS.
- H. PROVIDE NEW OCCUPANCY AND VACANCY SENSORS WHERE INDICATED. SPLICE AND EXTEND EXISTING BRANCH CIRCUITS AS REQUIRED.

DRAWING NOTES:

- 1. COORDINATE INSTALLATION WITH EQUIPMENT PROVIDER PRIOR TO ROUGH-IN.
- 2. CUT AND PATCH EXISTING CEILING AS REQUIRED TO INSTALL LIGHTING DEVICES AND FIXTURES. COORDINATE WITH GC FOR FINAL FINISH.
- 3. CUT AND PATCH EXISTING WALL TO ALLOW FOR RECESSED INSTALLATION OF ELECTRIC STOVE RECEPTACLE. PROVIDE NEMA CONFIGURATION TO MATCH REMOVED STOVE RECEPTACLE. CONNECT TO EXISTING STOVE RECEPTACLE MAINTAINED WITH REMOVALS. SPLICE AND EXTEND AS REQUIRED.
- 4. CUT AND PATCH EXISTING WALL TO ALLOW FOR RECESSED INSTALLATION OF RECEPTACLE. CONNECT RECEPTACLE TO EXISTING RECEPTACLE CIRCUIT MAINTAINED WITH REMOVALS.
- 5. CONNECT EF-1 TO EXISTING EXHAUST FAN CIRCUIT MAINTAINED WITH REMOVALS. SPLICE AND EXTEND CONDUIT AND WIRING AS REQUIRED. MATCH EXISTING ELECTRICAL CHARACTERISTICS.



Owner:
Schenectady County
612 Slate Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
322 State Street
Schenectady, NY 12305

Stamp:

Project:
INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**
100 Kellar Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |

Drawn By: C2 Architecture

Scale: As Noted

Date: 05/31/2024

Job No: 2407

Sheet Title:
**ENLARGED FIRST
FLOOR PLAN (EAST) -
ELECTRICAL**

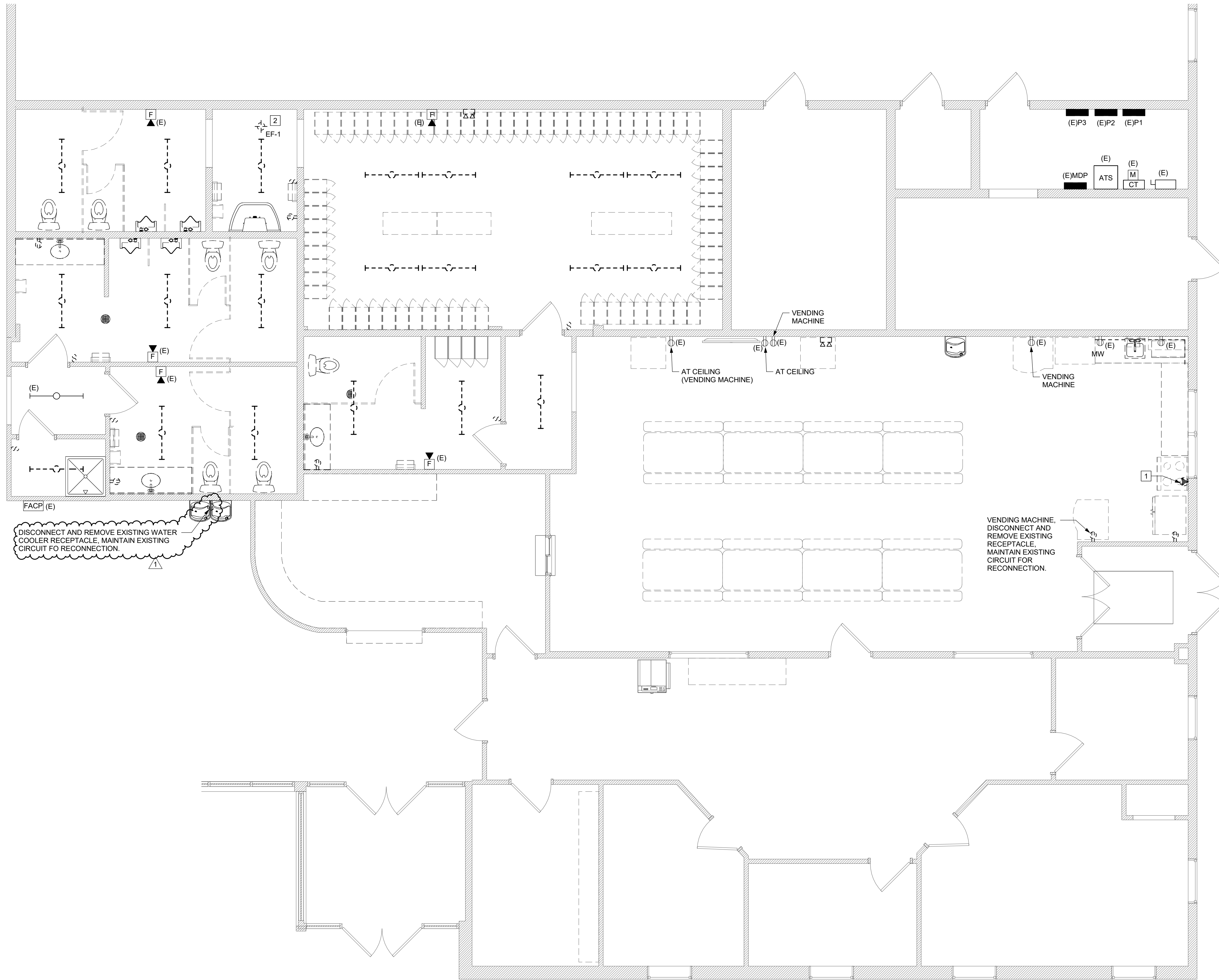
Sheet Number:

E102

PLOT DATE: 7/30/2024 2:10:55 PM

1 ENLARGED FIRST FLOOR PLAN (EAST) - ELECTRICAL
E102 SCALE: 1/4" = 1'-0"

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.



GENERAL NOTES:

- A. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND DEVICES THAT ARE INDICATED TO BE REMOVED (SHOWN DASHED). MAINTAIN EXISTING ELECTRICAL CIRCUITS FOR RECONNECTION. MAINTAIN AND PROTECT ALL EQUIPMENT AND DEVICES THAT ARE INDICATED TO REMAIN. RETAIN EXISTING RECESSED BOXES FROM LIGHT SWITCH AND RECEPTACLE REMOVALS.

DEMOLITION NOTES:

- 1. DISCONNECT AND REMOVE EXISTING STOVE RECEPTACLE. MAINTAIN EXISTING CIRCUIT FOR RECONNECTION.
- 2. DISCONNECT EXISTING EF-1 WITH REMOVAL OF EXHAUST FAN. MAINTAIN EXISTING CIRCUIT FOR RECONNECTION.



Owner:
Schenectady County
612 Slate Street
Schenectady, NY 12305

Architect:
C2 Architecture
24 Airport Road
Schenectady, NY 12302

MEP:
ME Engineering
322 State Street
Schenectady, NY 12305

Stamp:

Project:

INTERIOR RENOVATIONS TO:
**SCHENECTADY COUNTY
DEPW**
100 Keller Avenue Schenectady, NY 12306

BID SET - RFB-2024-39

| No. | REVISION # | DATE: |
|-----|-------------|------------|
| 1 | Addendum #3 | 08/02/2024 |
| | | |
| | | |
| | | |

| | |
|-----------|-----------------|
| Drawn By: | C2 Architecture |
| Scale: | As Noted |
| Date: | 05/31/2024 |
| Job No: | 2407 |

Sheet Title:
**ENLARGED
DEMOLITION FLOOR
PLAN (EAST) -
ELECTRICAL**
Sheet Number:

ED102

PLOT DATE: 7/30/2024 2:10:55 PM

1 ENLARGED FIRST FLOOR DEMOLITION PLAN (EAST) - ELECTRICAL
ED102 SCALE: 1/4" = 1'-0"

Copyright © 2024, C2 ARCHITECTURE, P.C. The material and ideas contained in this document are confidential and are the proprietary property of C2 ARCHITECTURE, P.C. These materials and ideas shall not be released or otherwise made available to any third party, or reproduced in whole or in part, without the express written consent of C2 ARCHITECTURE, P.C.

Revised per Addendum No. 2

SECTION 22 40 00

PLUMBING FIXTURES AND TRIM

PART 1 - GENERAL

1.1 WORK INCLUDED

- A. Provide labor, materials, equipment and services to perform operations required for the complete installation and related Work as required in Contract Documents.

1.2 SUBMITTALS

- A. Submit manufacturer's data in accordance with Basic Mechanical/Electrical Requirements. Obtain approval prior to ordering material.
- B. Provide submittals for all items specified under Part 2 - Products of this section.

1.3 DESCRIPTION OF FIXTURES

- A. Fixtures and trim shall be of those manufacturers listed, unless otherwise indicated. Fixtures for this project shall be of same manufacturer.
 - 1. Fixtures: American Standard, Kohler, Mansfield, Sloan, Toto, Watts or Zurn.
 - 2. Faucets: Chicago Faucets, Delta, Moen, Symmons, T&S Brass or Zurn. All faucets shall be lead-free in accordance with NSF 61 and NSF 372.
 - 3. Flushometers: Sloan "Regal XL" or Zurn.
 - 4. Closet Seats: Bemis, Beneke, Church or Olsonite.
 - 5. Fixture Carriers: Jay R. Smith, Watts, Wade, Josam or Zurn.
 - 6. Sinks: Elkay, Just or Kohler.
 - 7. Supplies, Stops and Traps: Brasscraft, EBC, McGuire or Sanitary Dash.
- B. Exposed parts of trim shall have polished chrome plated finish.
- C. Tubular drainage products ("P" traps, nipples, etc.) shall be 17 gauge brass.

1.4 QUALITY ASSURANCE

- A. Comply with requirements of the Plumbing Fixture Law of the New York State Department of Environmental Conservation.
- B. Comply with the American Disabilities Act Guidelines and ANSI A117.1 "Accessible and Usable Buildings and Facilities".

Revised per Addendum No. 2

- C. All items here-in used to convey water for potable use shall be lead free in accordance with NSF Standard 61, Section 9 Standard for Drinking Water and Lavatory Faucets and NSF Standard 372 - Maximum Lead Requirements. Compliance shall be via third-party testing and certification.
- D. All fixture trim used to convey water for potable use shall be lead free.

PART 2 - PRODUCTS

2.1 WATER CLOSETS

A. WC-A:

- 1. American Standard #215CA.104 Cadet Pro floor mounted, vitreous china, siphon action jetted, tank type, elongated bowl, close coupled, 15 in. high rim, fully glazed 2 in. ball pass trapway, 1.28 GPF, fitted with the following:
 - a. Church #9500SCC extra heavy weight, white elongated solid plastic, open front seat with self-sustaining check hinge, less cover.
 - b. McGuire #166 chrome plated angle supply with 3/8 in. x 12 in. flexible riser, wheel handle stop and wall escutcheon.
 - c. Cast iron closet flange with stainless steel bolts and wax setting ring.
 - d. Color matching bolt caps.

B. WC-B (HDCP):

- 1. American Standard #215AA.104 Cadet Pro Right Height, floor mounted, vitreous china, siphon action jetted, tank type, elongated bowl, close coupled, 16-1/2 in. high rim, fully glazed 2 in. ball pass trapway, 1.28 GPF fitted with the following:
 - a. Church #9500SCC extra heavy weight, white elongated solid plastic, open front seat with self-sustaining check hinge, less cover.
 - b. McGuire #166 chrome plated angle supply with 3/8 in. x 12 in. flexible riser, wheel handle stop and wall escutcheon with set screw.
 - c. Cast iron closet flange with stainless steel bolts and wax setting ring.
 - d. Color matching bolt caps.

2.2 URINALS

A. UR-A:

Revised per Addendum No. 2

1. American Standard #6590.001, Washbrook 0.5 GPF, wall hung, vitreous china, washout urinal with extended shields, stainless steel strainer, outlet connection threaded 2 in. female, 3/4 in. top spud, fitted with following:
 - a. FV-B: Sloan #186-0.5 GPF manually operated, urinal flushometer, exposed diaphragm type, 3/4 in. screwdriver angle stop with vandal resistant cap, vacuum breaker, adjustable tailpiece, sweat-solder adaptor kit, cast wall flange with set screw and ADA compliant handle.
 - b. Reuse existing rough-in and urinal carrier.

B. UR-B (HDCP):

1. American Standard #6590.001, Washbrook 0.5 GPF, wall hung, vitreous china, washout urinal with extended shields, stainless steel strainer, outlet connection threaded 2 in. female, 3/4 in. top spud, fitted with following:
 - a. FV-B: Sloan #186-0.5 GPF manually operated, urinal flushometer, exposed diaphragm type, 3/4 in. screwdriver angle stop with vandal resistant cap, vacuum breaker, adjustable tailpiece, sweat-solder adaptor kit, cast wall flange with set screw and ADA compliant handle.
 - b. Reuse existing rough-in and urinal carrier.
 - c. Mount at ADA required height and location or as shown on Architectural drawings.

2.3 LAVATORIES

A. LAV-A (HDCP):

1. American Standard #0497.221 Ovalyn, 21-1/2 in. x 17 in. oval, undermount, vitreous china lavatory with front overflow, fitted with the following:
 - a. F-A: Chicago #802, manual close faucet, 4 in. spout, deck mounted, 4in. centers, lead-free, and fitted with the following:
 - 1) 0.50 GPM aerator.
 - 2) ADA compliant wristblade handles.
 - b. Chicago #131-ABNF, lead-free, thermostatic mixing valve, 3/8 in. connections.
 - c. McGuire #155WC offset chrome plated P.O. plug with open grid strainer and 1-1/4 in., 17 gauge offset tailpiece.
 - d. McGuire #8902 chrome plated, 17 gauge, 1-1/4 in. x 1-1/2 in. "P" trap with cleanout plug and cast brass escutcheon with set screw.

Revised per Addendum No. 2

- e. McGuire # LF165LKF, lead-free, 3/8 in. chrome plated wall supplies with loose key angle stops, 12 in. long flexible risers and cast brass escutcheons with set screws.
- f. Cover exposed waste, stops and supply piping with ADA conforming pipe covers, Truebro, Inc. "Lav-Guard".

2.4 SINKS

A. SK-A (HDCP):

- 1. Elkay Lustertone ELUH1616, 18-1/2" x 18-1/2" x 7-7/8", nickel type 304 stainless steel single bowl sink, ADA compliant, 18 gauge, Undermount fitted with the following:
 - a. F-C: Moen Georgene Stainless Steel w/ Single handle, Model #87912SRS or equal lead-free, ADA compliant and fitted with the following:
 - 1) 2.0 GPM aerator.
 - 2) Chicago #131-ABNF, lead-free thermostatic mixing valve, 3/8 in. connections
 - 3) ADA compliant.
 - b. Elkay #LK99 strainer with removable cup, and 1-1/2 in. O.D. offset tailpiece.
 - c. Elkay #LKAD18 stamped brass drain outlet with 3 in. perforated grid strainer and LKADOS 1-1/2 in. O.D. offset tailpiece.
 - d. McGuire #8912 semi-cast brass adjustable "P" trap, 1-1/2 in. x 1-1/2 in., with cleanout plug and cast brass escutcheon with set screw.
 - e. McGuire #LF2167LKF, lead-free, 1/2 in. copper sweat supplies with 1/2 in. OD flexible risers, loose key stops and cast brass escutcheons with set screws.

B. SK-B (HDCP):

- 1. Elkay Lustertone ELUHAD191655, 21-1/2" x 1-1/2" x 5-3/8" sink; nickel type 304 stainless steel single bowl sink, ADA compliant, 18 gauge, Undermount fitted with the following:
 - a. F-C: Moen Georgene Stainless Steel w/ Single handle, Model #87912SRS or equal lead-free, ADA compliant and fitted with the following:
 - 1) 2.0 GPM aerator.

Revised per Addendum No. 2

- 2) Chicago #131-ABNF, lead-free thermostatic mixing valve, 3/8 in. connections
- 3) ADA compliant.
- b. Elkay #LKAD35 strainer with removable cup, and 1-1/2 in. O.D. offset tailpiece.
- c. McGuire #8912 semi-cast brass adjustable "P" trap, 1-1/2 in. x 1-1/2 in., with cleanout plug and cast brass escutcheon with set screw.
- d. McGuire #LF2167LKF, lead-free, 1/2 in. copper sweat supplies with 1/2 in. OD flexible risers, loose key stops and cast brass escutcheons with set screws.

2.5 FAUCETS

F-B: Chicago Faucets Hytronic #116.221.AB.1, dual supply, with user adjustable temperature mixing valve and integral checks, CP solid cast brass electronic sensor faucet, battery operated, deck mounted, Single hole, lead-free, cover plate, vandal proof non-aerating spray outlet, stainless steel braided hose supply, ADA compliant and fitted with the following:

- 1) 0.5 GPM aerator.
- 2) Chicago #131-ABNF, lead-free, thermostatic mixing valve, 3/8 in. connections Powers #LFe480, lead-free, tempering valve, 3/8 in. rough chrome finish.
- 3) 6 volt lithium CRP2 battery.
- 4) ADA compliant, chrome plated.

2.6 MOP BASINS

A. MB-A:

1. Fiat Model TSB, terrazzo, 36 in. x 36 in x 12 in. deep, stainless steel flat strainer, 3 in. outlet, stainless steel cap on all sides, color as selected by the Architect, with the following:
 - a. Provide silicone sealant between wall, floor and mop basin.

2.7 ICE MACHINE FITTING

A. IMOB-A:

1. Guy Gray, FR-12 Plastic Ice Maker Outlet Box with Lead Free quarter-turn Domestic Valve.

Revised per Addendum No. 2

- a. Furnish and install fire rated recessed Guy Gray Ice Maker outlet box.
- b. Compliant with ASME A112.18.1EWC-A:

Revised per Addendum No. 2

B. EWC-A

1. Model PG8FEBFSL shall deliver 8.0 gph of 50°F water at 90°F ambient and 80°F inlet water per ASHRAE 18 testing. Model PGFEBFSL is a non-refrigerated model and delivers ambient drinking water. Shall include the VersaFiller® with contactless activation and laminar flow; each fountain shall have four push pads to activate the manual flow of water for the cooler. Bottle Filler alcove and cabinet finish shall be stainless steel. Key VersaFiller components contain Freshield®, which utilizes a silver-based antimicrobial compound to protect the surfaces from discoloration, odors and degradation caused by the growth of micro-organisms and mildew. Basin shall be designed to eliminate splashing and standing water. Water saver bubbler to reduce waste water by 50% and shall have flexible guard and operate between 20 and 100 PSI. Shall use R-134a refrigerant. Shall comply with ANSI 117.1 and ADA. Shall be listed by Underwriters Laboratories to US and Canadian standards, and comply with NSF/ANSI 61 and NSF/ANSI 372. McGuire #LF165LKE, lead-free, 3/8 in. lavatory wall supply with loose key angle stop, 3/8 in. flexible riser, and cast brass escutcheon with set screw.
 - a. McGuire #8902, 1-1/4 in. x 1-1/2 in. semi-cast brass "P" trap with cleanout and cast brass escutcheon with set screw.
 - b. Jay R. Smith floor mounted carrier with rectangular uprights.
 - c. Acceptable Manufacturer: Elkay, Halsey Taylor.

PART 3 - EXECUTION

3.1 FIXTURES, EQUIPMENT AND SYSTEMS

- A. Install fixtures, equipment and systems as shown on Drawings or specified herein in accordance with provisions of each applicable Specification Section and all local and state codes having jurisdiction.

3.2 INSTALLATION OF PLUMBING FIXTURES

- A. Install plumbing fixtures level and plumb, in accordance with fixture manufacturers written installation instructions.
- B. Carefully drill holes for through bolts to avoid chipping blocks or plaster.
- C. Except where carriers are specified, attach hangers or brackets to walls as follows:
 1. Masonry Construction: Secure fixture hangers to partition by thru-bolts extending through a steel plate on opposite side of partition. Obtain Owner's Representative's approval prior to work.
 2. Metal Stud Construction: Anchor backing for fixtures or equipment to 1/8 in. x 12 in. steel plate bolted or riveted to at least three studs. Obtain Owner's Representative's approval prior to work.

Revised per Addendum No. 2

- D. Anchor carriers to concrete floor with 1/2 in. x 3 in. anchor or thru-bolts and washers. Provide for drilling of floor and installation of expansion shields. Quantity of anchors:
 - 1. Water Closets - Four (4).
 - 2. Lavatories - Eight (8).
 - 3. Urinals - Eight (8).
- E. Seal fixtures in contact with walls, floors and counters using a sanitary-type, one-part, mildew-resistant, silicone caulk. Match color to fixture color.
- F. Set self-rimming lavatories and sinks in a bed of silicone caulk.
- G. Install floor-mounted, floor-outlet water closets with closet flanges and gasket seals.
- H. Install wall-hanging, back-outlet water closets with support manufacturer's tiling frame or setting gage.
- I. Install wall-hanging, back-outlet urinals with gasket seals.
- J. Fasten wall-hanging plumbing fixtures securely to supports attached to building substrate when supports are specified and to building wall construction where no support is indicated.
- K. Fasten counter-mounting-type plumbing fixtures to casework.
- L. Metering faucets shall be adjusted for minimum ten (10) second run time, but not more than 0.25 gallons per cycle.
- M. Immediately after installation, provide protective covering over fixtures and trim.

3.3 MOUNTING HEIGHT AND LOCATION

- A. Mount fixtures at height and location as indicated on Architectural plans and elevations.
- B. Mount accessible fixtures in conformance with the requirements of ANSI A117.1.

3.4 CONNECTIONS

- A. Install piping connections between plumbing fixtures and piping systems and plumbing equipment specified in other sections of Division 22.

3.5 ADJUSTING AND CLEANING

- A. Operate and adjust faucets and controls. Replace damaged and malfunctioning fixtures, fittings and controls.
- B. Adjust water pressure at electric water coolers, faucets and flush valves to provide proper flow and stream.

Revised per Addendum No. 2

- C. Replace washers of leaking and dripping faucets and stops.
- D. Clean fixtures, fittings, spout and drain strainers with manufacturers' recommended cleaning methods and materials.
- E. Test fixtures to demonstrate proper operation upon completion of installation and after units are water pressurized. Replace malfunctioning fixtures and components and retest. Repeat procedure until all units operate properly.

END OF SECTION 22 40 00

Added per Addendum No. 2

SECTION 23 31 01

MECHANICAL CLEANING OF HVAC SYSTEMS

PART 1 - GENERAL

1.1 WORK INCLUDED

- A. Provide labor, materials, equipment and services required for the complete installation designed in Contract Documents.
- B. Requirements for mechanical cleaning of complete existing air conveyance systems (ACS) and other mechanical components including (but not limited to) the following:
 - 1. Air Handling Unit(s):
 - a. Unit enclosure.
 - b. Heating and cooling coils.
 - c. Fan assembly.
 - d. Condensate pan.
 - e. Washable filters (replacement of existing disposable filters) and/or filter section.
 - f. Outside air and return air plenum(s).
 - g. Outside air intake(s).
 - 2. Supply and return ductwork, lined and unlined, including ductwork plenums, branches, risers, and similar components.
 - 3. Air terminal devices, i.e. supply diffusers, return registers, and similar components.
 - 4. Reheat coils (electric or hot water).
 - 5. Fire and fire/smoke dampers.
 - 6. Mechanical Rooms and return air plenums.

1.2 QUALITY ASSURANCE

- A. Ductwork shall be cleaned in compliance with latest edition of the following standards:
 - 1. Assessment Cleaning and Restoration of HVAC Systems - 2006 ACR-2006 National Air Duct Cleaners Association (NADCA).

Added per Addendum No. 2

2. Plans and Specifications which exceed the requirements in any of the reference standards.
- B. All sheet metal shall be fabricated and installed by an experienced Contractor specializing in this type of Work.
- C. The Duct Cleaning Contractor or subcontractor must provide a full time project supervisor, dedicated to this project, who is certified as an Air Systems Cleaning Specialist (ASCS) by the National Air Duct Cleaners Association (NADCA). Contractor must have a minimum of two ASCS personnel on staff, and have at least three (3) years of experience in commercial duct cleaning for projects similar in scope and complexity. If coating of internally lined fiberglass ductwork is included in the scope, specific project references should be supplied.

1.3 SUBMITTALS TO THE ARCHITECT/ENGINEER

- A. Shop drawings locating all proposed duct access door locations and ceiling access holes in plaster ceilings.
- B. Provide MSDS sheets on all solvents, coatings, cleaners and disinfectants to be used on project.
- C. Access door submittals.
- D. Provide current NADCA membership certificate, plus certification certificates (ASCS) for two individuals that are currently employed by the Contractor.
- E. Provide a detailed description of cleaning methods, systems, and procedures. Include cut sheets of agitation equipment than can clean and coat up to a minimum of 50 lineal feet of ductwork per access point, in each direction, per Section 3.2 E.
- F. Provide a Reference List of similar projects in scope and complexity. Include Project Name, date, point of contact, and phone number.

PART 2 - PRODUCTS

2.1 PRODUCTS AND MATERIALS

- A. Sanitizer: Sanitizing agents shall only be applied if active fungal growth is reasonably expected, or where unacceptable levels of fungal contamination have been confirmed through testing. Only an EPA registered sanitizer that is specifically registered for application inside HVAC/ductwork systems will be applied. Sanitizer to be applied in accordance with label instructions. Sanitizers shall not be applied to porous surfaces, such as fiberglass lining. Similar to as "BBJ" microbicide as manufactured by BBJ Chemical Compounds.
- B. Insulation Repair Coating: Quick-setting water-based duct liner adhesive and coating designed for field application to faced or unfaced fiberglass duct liner insulation or to unfaced fiberboard or ductboard insulation that dries to form effective air erosion preventive coating, sealing and reinforcing surface. Coating resistant to fire, water, oil,

Added per Addendum No. 2

grease, bacteria and fungus. Coating material must not affect thermal or acoustic properties or insulation, and conform to NFPA Standards 90A and 90B. Similar to "Tough Coat" by Vac System Industries, Inc.

- C. Coil Cleaning Solution: Shall be a neutral PH solution (non acid, non alkaline) so as to not damage or further deteriorate coil fin surfaces. The solution shall be an aqueous enzymatic concentrate for the cleaning and digestion of biological debris and common soil present on air-conditioning coils. Application must be in compliance with label instructions. Similar to AerisGuard, as manufactured by Aeris USA.
- D. Ductwork Access Doors shall be "sandwich type" access doors, as manufactured by Ductmate Industries. Access doors with sheet metal screw fasteners are not acceptable. Access doors shall be a minimum size of 16 in. x 12 in. and installed in locations as shown on drawings.

PART 3 - EXECUTION

3.1 PRE-CLEANING PREPARATIONS

- A. Prior to start of work, the HVAC system is to be carefully inspected and checked for all conditions affecting the cleaning. Defects are to be reported in writing to the Project Engineer and work will not proceed until all defects have been documented. Commencement of work will constitute acceptance of the conditions of the area to which the cleaning work is to be performed and all defects in work resulting from such accepted service will be corrected by this trade without additional expense to the Owner.
- B. Disassemble all removable items as required for access to work area. Store the removables in a Project Engineer approved storage area until the completion of the cleaning work.
- C. Fire protection devices (such as smoke detectors, panel, etc.) shall be protected prior to cleaning procedures. They are to be cleaned and tested at the conclusion of work.
- D. The Contractor shall coordinate the shutdown and reactivating of the fire alarm system with the Owner to avoid accidental alarms during the cleaning process and related work.
- E. The Contractor shall coordinate the shutdown of the air handling equipment with the Owner before starting work, and shall conform to OSHA requirements regarding fan motor disconnect lock-out/tag-out.

3.2 GENERAL REQUIREMENTS

- A. Containment: Debris removed during cleaning shall be collected and precautions must be taken to ensure that debris is not otherwise dispersed outside the ACS during the cleaning process. After ACS cleaning, any areas which could be affected by the cleaning Contractor's work must be as clean as their condition prior to the commencement of the cleaning operation.

Added per Addendum No. 2

- B. Particulate Collection: Where the Particulate Collection Equipment is exhausting inside the building, HEPA filtration with 99.97% collection efficiency for 0.3 micron size particles shall be used. Mechanical cleaning operations shall be undertaken only with Particulate Collection Equipment in place, including adequate filtration to control debris removed from the ductwork or ceiling plenum. When the Particulate Collection Equipment is exhausting outside the building, precautions shall be taken to ensure that air does not re-enter the building.
- C. Contact Vacuuming: Where contact vacuuming is required, the vacuum equipment must be HEPA filtered. Cleaning shall be performed by the application of the vacuum in combination with a brush attachment directly to the contaminated surface.
- D. Mechanical Agitation for Ductwork Cleaning:
 - 1. The Contractor is required to remove all debris from the inside surface areas, e.g. the top, bottom and sides of rectangular duct and the entire inside circumference of round and flat oval ductwork by creating the least amount of access openings possible. No cleaning method should be used that can potentially damage components of the ductwork or negatively alter the integrity of the system. The following restrictions for agitation tools shall be adhered to.
 - 2. High power/volume vacuum alone is not an acceptable method of agitation.
 - 3. The agitation equipment shall be the Collom Duct Cleaning System or approved equal.
 - 4. Approved equal agitation systems shall be accepted only if the following conditions are met:
 - a. The system is capable of thoroughly cleaning (and sanitizing) up to 50 lineal feet of ductwork in each direction per access point. Exceptions to this requirement will apply when the removal of debris requires more aggressive agitation.
 - b. A minimum of 85 cubic feet per minute (cfm) of compressed air to 110 pounds per square inch (psi) must be supplied to the air tool or nozzle in order to effectively dislodge the built-up debris.
 - c. The air tool or nozzle shall be able to follow the contours of the ductwork, i.e. the tool must be able to come in contact with all sides/surfaces of the interior of the duct.
 - d. The air tool or nozzle shall be capable of dispensing coatings and sanitizing solutions to cover the entire interior surface areas of the ductwork without creating additional access openings in order to maintain the integrity of the ductwork.
 - 5. Where ductwork is large enough and able to support the weight of a worker, hand tools and HEPA vacuums may be used. If workers enter the inside of the duct they must follow the OSHA confined space requirements (OSHA 29 CFR

Added per Addendum No. 2

1910.146). Collection equipment must be used during this process to assure capture of any residual or airborne debris, if determined necessary by Project Engineer.

- E. Cleaning of HVAC Unit Components and Other System Components:
 - 1. Includes all A/C and heating coils, drain pans, humidifiers, fans, grilles, registers, and diffusers. Cleaning methods shall be employed such that all HVAC system components must be visibly clean as defined in Section 3.4. Upon completion of cleaning all components must be returned to those settings recorded just prior to cleaning operations.
- F. Controlling Odors: All reasonable measures shall be taken to control offensive odors and/or mist vapors during the cleaning process.
- G. Volume Control Devices: Dampers and any air-directional mechanical devices, including volume, fire and zone dampers inside the ductwork must have their position marked prior to cleaning, and upon completion, must be restored to their marked position. After cleaning, the dampers shall be repaired as necessary to insure proper operation and returned to original settings. Contractor shall indicate locations of damaged and/or repaired dampers.
- H. Access Openings: Any access openings cut for the cleaning process must be repaired so that they shall not significantly alter the airflow. All openings made to facilitate the cleaning must be sealed in accordance with industry standards and local codes, using materials acceptable, under those standards and codes. (See Specification Section 233100 and SMACNA's HVAC Duct Construction Standards - Metal and Flexible, 1985).

3.3 HEALTH AND SAFETY

- A. Cleaning Contractors shall comply with all applicable federal, state and local requirements for protecting the safety of the contractor's employees, building occupants, and the environment. In particular, all applicable standards of the Occupational Safety and Health Administration (OSHA) should be followed when working in accordance with this standard.
- B. No processes or materials shall be employed in such a manner that they will create adverse health effects to the building occupants, cleaning contractors, or general public.
- C. Disposal of Debris. All debris removed from the ACS shall be disposed of in accordance with all applicable federal, state and local requirements.

3.4 VERIFICATION

- A. Cleanliness verification shall be performed after an HVAC system component has been cleaned and prior to the application of any treatment and/or the component being used in operation, as per section 13 of ACR 2006. A visual inspection must be used to assess that the HVAC system is visually clean. An interior surface is considered visibly clean when it is free from non-adhered substances and debris. If a component is visibly clean

Added per Addendum No. 2

then no further cleanliness verification is required. In the event there is disagreement concerning whether a surface is visibly clean, contractor will conduct Surface Comparison Testing, as per section 13.2 of ACR 2006.

- B. Photographs of representative areas of the ductwork and unit components of the cleaning project shall be provided in a report. Photographs must contain captions that identify both HVAC unit number and occupied space that the component serves. See Section 3.6 Post Project Report.

3.5 SEQUENCE OF WORK

- A. Since the systems must be operational during the normal work hours. The Contractor shall submit to the Owner a procedure for cleaning the ductwork and installing filters which will minimize contamination of already cleaned areas. This sequence must be approved by the Owner and Project Engineer prior to starting work.

3.6 POST PROJECT REPORT

- A. The Contractor will submit three (3) copies of the final report to the Project Engineer/Owner indicating the following:
 - 1. Success of the cleaning project, as verified through visual inspection.
 - 2. The report shall contain photographic or video documentation of representative areas cleaned as part of the project. This documentation shall show both before and after pictures that verify visual inspection.
 - 3. Areas of the system found to be damaged, in need of repair, and/or requiring more aggressive cleaning.

END OF SECTION 23 31 01